

Township of
Langley



Est. 1873



Brookwood-Fernridge Community Plan

Bylaw No. 5300

Adopted October 23, 2017





BROOKSWOOD-FERNRIDGE COMMUNITY PLAN

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1. INTRODUCTION

This document sets out the vision, guiding principles, and policies that will shape growth and development in Brookwood-Fernridge over the next 20 to 25 years. It provides an overall development framework for the community and establishes policies related to community framework and character, land use, open space and community amenities, the environment, mobility and transportation, and utilities and services.

The Brookwood-Fernridge Community Plan forms part of the Township of Langley Official Community Plan (OCP), which provides the long-term vision for sustainable growth and development in the Township as a whole. More detailed neighbourhood plans, which apply to portions of a Community Plan area, must be consistent with the policies delineated in the Community Plan.



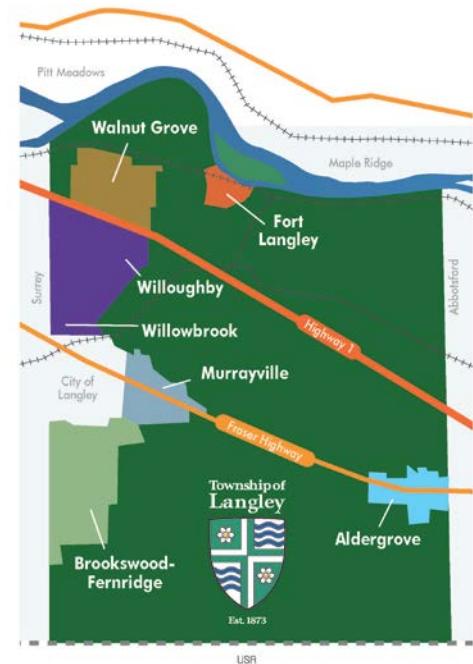
Township of Langley Planning Framework

1.1 COMMUNITY PLAN AREA

Brookwood-Fernridge is located in the southwestern portion of the Township of Langley, immediately east of the City of Surrey and south of the City of Langley. The Plan area encompasses about 1,440 hectares (3,558 acres), extending from 44 Avenue to 16 Avenue and from 196 Street to the east of 212 Street.

1.2 HISTORICAL CONTEXT

The boundaries for the Brookwood-Fernridge Plan area fall within the asserted traditional territories of the Coast Salish peoples, where early villages, seasonal occupational sites, places of spiritual significance, and natural resource procurement sites existed throughout the area now encompassed by Langley and its neighbouring Fraser Valley municipalities. In addition to the presence of a documented early travel route that connected Semiahmoo Bay to the Fraser River through the north end of Brookwood-Fernridge, called the Semiahmoo-Langley trail, known archaeological sites within the greater vicinity of the Plan area boundaries indicate early use and possible habitation of the area by local First Nations dating back several millennia.



Township of Langley
Community Plan Areas

European settlement in Brookwood-Fernridge occurred gradually beginning in the late 1880s, when the area's open meadowlands, fertile soil and heavily timbered forests drew settlers to the Campbell Valley area. Some fifty ranchers settled in this area, even though less than 10% of their land was cultivated. These first settlers were closely tied to the logging industry, and some brought their established land-clearing skills from the timber industry to support their farming efforts. Glenwood was one of the first of these areas to be settled by those who established farms and sawmills to take advantage of the abundant first growth timber. One of the earliest documented local institutions in the area was the first Glenwood School built in 1891 at North Bluff (16 Avenue) and Johnson-Townline (216 Street). Subsequent adaptations of this one-room school were built on other sites in the vicinity over the decades that followed to meet the gradually increasing demands of a growing population, up to the initial construction and expansion of the existing Glenwood School that serves the community today.

By the turn of the twentieth century, the numerous small logging operations in the area began to benefit from a growing local market and improved transportation links. The Great Northern Railway (GNR) line completed in South Langley in 1909 was of great importance for lumber transport, and the Fernridge Lumber Company established a spur line to the railway that ran through the north end of Brookwood within a year of its arrival. The British Columbia Electric Railway (BCER) that ran through the middle of Langley opened in 1910 and supported the lumber mills by allowing them to install spurs anywhere along the line.

Early farms in the area were initially served by road infrastructure that ran on a predominantly north-south axis, with small sections of road that provided east-west access to individual farms. Maps of the area show that by 1915 there were two key roads serving the Brookwood-Fernridge area. The longest roads were Rinn Road (208 Street) that extended from the international border to Old Yale Road, and Griffith Road (200 Street) that extended from the international border to 36 Avenue. Griffith Road subsequently became known as Hunter Road after Hunter Station on the BCER line where it crossed what is now 200 Street. Many of these early street names originally named after early landowners in the area were re-named post-1918 to honour soldiers from Langley who served in the First World War.

The period between the First and Second World Wars was tumultuous, as many communities experienced a short but prosperous development boom followed by the devastating stock market crash of 1929. In the small community of Fernridge in the southwest corner of Langley, a post office, general store, and gas station were established along 24 Avenue to serve the local population by residents Noel and Lillian Booth who ran a fleet of buses that acted as mobile stores around the community. The Fernridge Hall was constructed in 1921 when the economy was still in a fragile state, but communities were developing quickly as soldiers returned from the war and established larger families, and the need for community facilities was on the rise. Additional facilities that served the growing community in the decades that followed included the Brookwood Community Hall, originally known as the Brookwood Club Association Hall, built in the 1930s by Fred Brooks on 200 Street south of 44 Avenue. This building was converted to the Langley Playhouse in 1972 and has become a cultural landmark for the neighbourhood and Township. St. Paul's Anglican Church, built c.1947, is representative of the post-war development in Brookwood and its longstanding function as a church continues to serve the area today as the Life Tabernacle.

By 1958 road infrastructure in the area had expanded. Henderson Road (16 Avenue) and Wix Road (24 Avenue) provided longer east-west axis roads serving Fernridge, while shorter road sections, such as McInnis (32 Avenue), Bradshaw (40 Avenue), and Fisher (44 Avenue), similarly served Brookwood.

Significant urban residential development in Brookwood-Fernridge began in the late 1960s after the construction of the Port Mann Bridge, which allowed easier access to the Vancouver area for commuters. Developments prior to 1987 required a minimum lot size of 930 m² (10,000 ft²) based on servicing by a community water system and individual septic systems. In 1987, a Community Plan for the area was adopted by Township Council that provided for smaller lot sizes (650 m² / 7,000 ft²) and some multi-family dwellings, subject to all new development being fully serviced with both community water and sewer systems. An area east of 208 Street around 44 Avenue was developed in the mid-1990s, utilizing sewer capacity available in a sewer main running through the City of Langley.

1.3 EXISTING CONDITIONS

Brookwood-Fernridge currently consists of two distinct areas: the northern area that was developed between the late 1960s and mid-1990s for urban uses and the southern area that has not yet been developed for urban uses.

The developed area of the community east and west of 208 Street generally consists of 930 m² (10,000 ft²) to 650 m² (7,000 ft²) single detached residential lots. The developed area also includes two commercial precincts. The larger commercial area, Brookwood Village, is located near the intersection of 200 Street and 40 Avenue and includes a grocery store, drug store, restaurants, and professional offices. The other commercial area is located along the west side of 208 Street between 40 Avenue and 42 Avenue.

The undeveloped area generally consists of suburban residential lots of about 0.4 to 2 hectares (1 to 5 acres) in size. Other land uses in the undeveloped area include farms, manufactured home parks, and vacant lands. A commercial area exists at the intersection of 200 Street and 24 Avenue and includes a grocery store, pub, and gas station.



The lands to the east and south of the Brookwood-Fernridge area are currently being used for residential and agricultural purposes, with the exception of Campbell Valley Regional Park. All of these lands are located in the Agricultural Land Reserve (ALR), a provincial zone in which agriculture is recognized as the priority use. The lands to the north are located in the City of Langley and are currently being used primarily for residential purposes, except for Alice Brown Elementary School and the BC Hydro right-of-way/off-leash dog park. The lands to the west are located in the City of Surrey and are currently being used for residential and agricultural purposes. The majority of the lands to the west are located within the City of Surrey Campbell Heights Local Area Plan, which provides for the development of a 798 hectares (1,971 acres) business/light industrial park.

1.3.1 POPULATION CHARACTERISTICS

The current population of the Brookwood-Fernridge area is estimated to be 13,280. The average number of persons per household in the community is 2.7, slightly less than the 2.8 Township-wide average. The median age in Brookwood-Fernridge is 44 years, which is higher than the median age in the Township as a whole (40 years).*

1.3.2 HOUSING

There are approximately 4,700 occupied dwellings in Brookwood-Fernridge. Of these dwellings, 85% are single-detached dwellings, 14% are moveable dwellings (e.g. manufactured homes), and 1% are apartment dwellings. Nearly 60% of the dwellings in Brookwood-Fernridge were built in the 1960s and 1970s. Approximately 88% of the dwellings in Brookwood-Fernridge are owner-occupied, which is slightly higher than the Township as a whole (85% owner-occupied).†

1.3.3 EMPLOYMENT AND BUSINESS

Approximately 61 hectares (150 acres) of land in Brookwood-Fernridge are currently being used for employment purposes (e.g. commercial and institutional uses). The commercial zones are generally clustered around the intersections of 200 Street and 40 Avenue, 200 Street and 24 Avenue, as well as along 208 Street between 40 Avenue and 42 Avenue. A neighbourhood commercial zone is located on the southwest corner of 208 Street and 24 Avenue. There is no existing industrial land in Brookwood-Fernridge.

1.3.4 OPEN SPACE AND COMMUNITY FACILITIES

Approximately 46.5 hectares (115 acres) of public park space exist in Brookwood-Fernridge. Existing public parks include:

- Noel Booth Community Park on 36 Avenue near 202 Street
- Brookwood Park on 200 Street and 40 Avenue
- Bell Park on 38 Avenue near 205 Street
- East Brookwood Park on 212 Street and 42 Avenue
- Dale Ball Passive Park on 208 Street and 36 Avenue
- Wiser Natural Park on 196A Street north of 40 Avenue
- The Rees-Callard Natural Park on 202 Street south of 32 Avenue
- Brookwood Skateboard Park on 208 Street and 42 Avenue
- Zazulak Park on 44B Avenue near 197A Street

Additionally, there are approximately 18 hectares (45 acres) of existing conservation area in Brookwood-Fernridge, primarily around watercourses. Surrounding area parks include Campbell Valley Regional Park, an off-leash dog park in the City of Langley, and Latimer Park in the City of Surrey.

The George Preston Recreation Centre on 208 Street has an ice/dry floor arena, curling facility and multi-purpose rooms. The Brookwood Library is located at 40 Avenue near 200 Street and the Langley Lawn Cemetery is located on 208 Street.

* Source: Statistics Canada (2011 Census and 2011 National Household Survey)

† Source: Statistics Canada (2011 Census and 2011 National Household Survey)

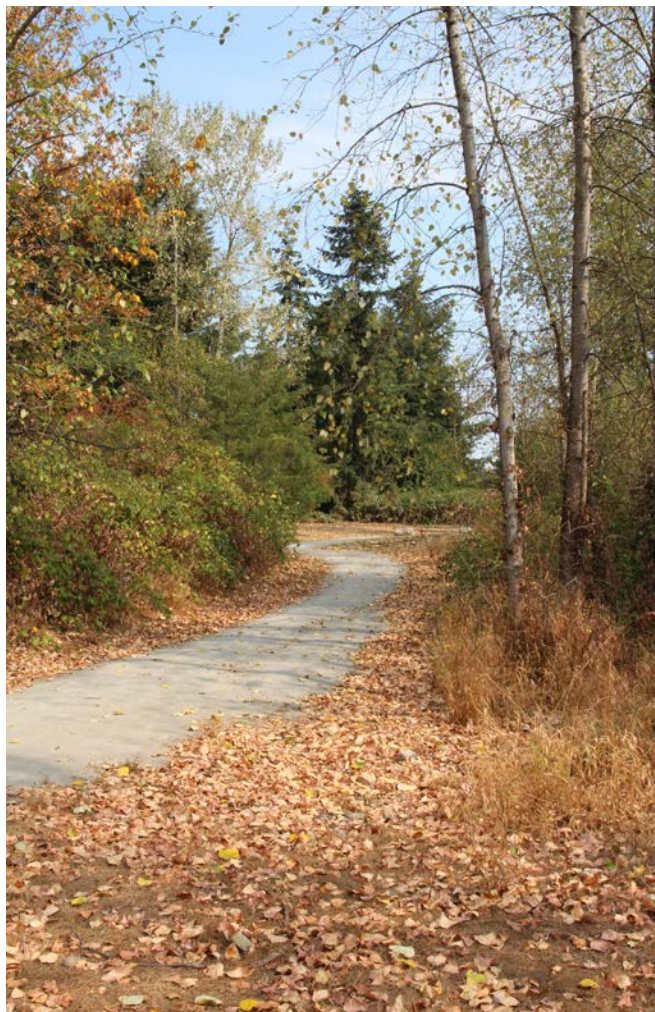
There are three (3) elementary schools in Brookwood-Fernridge: Belmont (on 40 Avenue), Noel Booth (on 35 Avenue), and Glenwood (on 24 Avenue). St. Catherine's, a private elementary school, is located on 32 Avenue. Langley Fundamental Middle and Secondary School is located on 212 Street, and Brookwood Secondary School is located on 208 Street.

Privately operated community facilities in Brookwood-Fernridge include a rod and gun club, an equestrian club, a seniors' hall, a small playhouse, and the Fernridge Community Hall. There are also seven (7) churches located throughout the community.

1.3.5 ENVIRONMENT

The Brookwood-Fernridge area includes four (4) watersheds (or drainage basins). The northern portion of Brookwood-Fernridge is in the Anderson Creek, Murray Creek, and Pleasantdale Creek watersheds, which flow north into Nicomekl River and eventually into Boundary Bay. The southern portion of Brookwood-Fernridge is in the Little Campbell River watershed, which flows west to Semiahmoo Bay. These watersheds contain natural, constructed, and roadside watercourses that sustain populations of a variety of fish. Non-fish bearing watercourses in these watersheds provide a source of food and nutrients and/or cool water to downstream fish populations. There are also a few small lakes and ponds in the area.

Nearly all of the Brookwood-Fernridge area is underlain by the Brookwood Aquifer. The relatively flat ground surface of the uplands, together with the sand and gravel materials, permits relatively high infiltration rates. This unconfined aquifer is highly vulnerable to possible contamination from various sources, including septic system discharges, polluted stormwater runoff, and both agricultural and anthropogenic activities (e.g. use of lawn fertilizer and manure, fuel spills, and pesticide use).



Brookwood-Fernridge is characterized by a large number of mature coniferous trees. Based on land cover mapping completed by the Langley Environmental Partners Society (LEPS) in 2002, the Brookwood-Fernridge area contains 37.5% of all coniferous forest in the Township of Langley. There are 122 confirmed wildlife species within the Brookwood-Fernridge area, including nine (9) red (extirpated, endangered, and threatened) or blue (special concern) listed species.

1.3.6 MOBILITY AND TRANSPORTATION

Brookwood-Fernridge has an existing system of arterial, collector, and local roads largely based on a grid. The major north-south arterial roads in Brookwood-Fernridge are 200 Street and 208 Street. The major east-west arterial roads are 16 Avenue, 24 Avenue, 32 Avenue, and 40 Avenue. As identified in the Highway and Traffic Bylaw, the designated truck routes in and immediately adjacent to Brookwood-Fernridge include 200 Street, 16 Avenue, and portions of 32 Avenue, 36 Avenue, 40 Avenue, 205 Street, and 208 Street.

TransLink provides bus service through Brookwood-Fernridge. Two community shuttle routes (the C60 and C61) cover the northern portion of the area while another community shuttle route (the C63) serves the southern portion of the area. The 531 bus provides half-hour service through Brookwood-Fernridge from White Rock Centre to Willowbrook via Langley Centre along 32 Avenue and 200 Street.

Most of the roads in Brookwood-Fernridge do not have sidewalks. There are some walkways between roads or between roads and parks in the developed area. A commuter bike route currently exists in Brookwood-Fernridge along 40 Avenue. There are also several existing community and recreational bike routes in Brookwood-Fernridge.

1.3.7 UTILITIES AND SERVICES

Most properties in Brookwood-Fernridge are currently serviced by a municipal water system. The municipal water system in Brookwood-Fernridge is supplied by both groundwater from the Brookwood Aquifer and water from Metro Vancouver. Many properties in the undeveloped area are serviced by private wells where the municipal water system is limited. There are currently three active municipal wells in the Brookwood Aquifer.

Most of Brookwood-Fernridge is serviced by on-site private systems (e.g. septic systems). The Phase 1 area east of 208 Street ('Cedar Ridge') is serviced by a sewer system that connects to the City of Langley's sanitary sewer network. A gravity trunk main sewer was installed through the Brookwood-Fernridge area as part of the development of the High Point area (southwest corner of the Township). Some parts of Brookwood-Fernridge have connected to this sewer system through Local Area Services.

The majority of the drainage system in the developed area is managed by infiltration swales, infiltration trenches, dry wells, and rock pits. The system was designed to contain a five-year storm event with overland flow routes for a major 100-year storm event.

Fire Hall 5, which serves Brookwood-Fernridge and the surrounding rural areas, is located on 32 Avenue at 204 Street. A Community Policing Office is located near 200 Street and 41 Avenue.

1.4 POLICY CONTEXT

The Brookwood-Fernridge Community Plan is informed and shaped by the broader policy context of the Metro Vancouver Regional Growth Strategy, the Township's Sustainability Charter, the Township's Official Community Plan, and various other Township plans, strategies, and policies. The Brookwood-Fernridge Community Plan fits within this policy context that respects the distinctive character of the community.

1.4.1 REGIONAL GROWTH STRATEGY

In 2011, Metro Vancouver adopted Metro Vancouver 2040: Shaping Our Future, a Regional Growth Strategy (RGS) for the entire Metro Vancouver region. The RGS represents a collective vision on how the region will accommodate the additional 1 million people that are anticipated over the next 25 years. Approximately 90,000 additional residents are anticipated in the Township of Langley over the next 25 years.

The RGS establishes an Urban Containment Boundary (UCB) that provides a stable, long-term area for residential, commercial, and industrial development, and reinforces the protection of agricultural, environmental, and rural areas. The Brookwood-Fernridge area is located within the UCB and is designated as 'General Urban' in the RGS. General Urban areas are intended for residential neighbourhoods and centres, and are supported by commercial, institutional, recreational, and park uses.

1.4.2 SUSTAINABILITY CHARTER

In 2008, Township Council adopted the Sustainability Charter with a vision to build a legacy for future generations by leading and committing the community to a lifestyle that is socially, culturally, economically, and environmentally balanced. The Sustainability Charter outlines a number of social/cultural, economic, and environmental goals and objectives.

1.4.3 OFFICIAL COMMUNITY PLAN

In 2016, Township Council adopted a new Official Community Plan (OCP) that provides a 30-year vision for growth and development in the Township as a whole. The OCP includes a number of high-level goals and policy directions that follow the Sustainability Charter.

The OCP also provides general policy direction on land use and community structure as well as on urban community and neighbourhood design. The Brookwood-Fernridge area is located within the Urban Development Area and is designated for 'Urban' in the OCP. Urban areas are intended for residential neighbourhoods and centres, supported by commercial, institutional, recreational, and park uses.

1.4.4 OTHER PLANS, STRATEGIES AND POLICIES

Other Township plans, strategies, and policies that have informed the Brookwood-Fernridge Community Plan include the following:

Age-Friendly Strategy: Approved by Council in 2014, the Age-Friendly Strategy helps the Township meet the needs of its older residents, while providing a physical and social environment that works for residents of all ages. The Age Friendly Strategy is an important social component to ensure that community development is accessible and inclusionary for all ages and that the built environment reflects these values.

Anderson Creek and Fernridge Integrated Stormwater Management Plans (ISMPs): Both completed in 2014, these ISMPs provide direction on preserving and improving the overall environmental health of the Anderson Creek watershed and the Fernridge watershed (part of the Little Campbell River watershed).

Anderson Creek Terrain Stability and Channel Morphology Assessments; Anderson Creek Geotechnical Review; and Anderson Creek Slope Stability Assessment: Completed in 2006, 2012, and 2016 respectively, these reports contain site specific and general recommendations for mitigating potential slope instability that could result from future development adjacent to Anderson Creek.

Cycling Plan: Endorsed by Council in 2015, the Cycling Plan identifies the eventual cycling network and the ultimate cycling infrastructure in the Township.

Employment Lands Study: Completed in 2010, the Employment Lands Study provides an assessment of the future demand for employment lands in the Township.

Heritage Strategy: Endorsed by Council in 2012, the Heritage Strategy outlines strategic goals and actions for heritage to 2022.

Housing Action Plan: Endorsed by Council in 2013, the Housing Action Plan guides decision-making related to market and non-market housing.

Manufactured Home Park Redevelopment Policy: Updated by Council in 2015, this Policy, among other items, states that community plans must consider the need for manufactured home parks as a residential land use and outlines the assistance that should be considered to tenants upon the redevelopment of a manufactured home park.

Master Transportation Plan: Endorsed by Council in 2009, this Plan guides the development of the Township's transportation system in an effective and economical manner that accommodates projected population and employment growth.

Parks and Recreation Master Plan: Adopted by Council in 2002, this Plan provides principles and guidance for parks and recreation services in the Township.

Water Management Plan: Endorsed by Council in 2009, this Plan provides a series of recommendations to better protect aquifers in the Township.

Wildlife Habitat Conservation Strategy: Adopted by Council in 2008, this Strategy ensures that wildlife habitat planning and management is incorporated into the community and neighbourhood planning process.

1.5 PLANNING AND ENGAGEMENT PROCESS

The original Brookwood-Fernridge Community Plan was adopted by Township Council in 1987. This Plan provided for a population of about 35,000 people, with 30,000 living in single detached dwellings, 3,000 living in townhouses or mobile homes, and 2,000 living in apartments.

In April 2016, the Township launched a planning and engagement process to update the 1987 Community Plan to provide opportunities for growth and redevelopment in the undeveloped

areas while maintaining existing land uses and densities in the developed areas of the community. The engagement approach applied to the Community Plan update included consultation with the following:

- The general public, including:
 - residents and property owners within the Brookwood-Fernridge area
 - residents and property owners within the rural surrounds
 - business owners and workers
 - other interested individuals
- The Community Planning Team (CPT), comprised of individuals representing various stakeholder groups, including:
 - residents and property owners within the Brookwood-Fernridge area
 - residents and property owners within the rural surrounds
 - non-profit community associations, business owners, the development community, and environmental groups
- External agencies and Township Advisory Committees, including:
 - City of Surrey and City of Langley
 - Agricultural Land Commission, Langley School District No. 35, TransLink, Metro Vancouver, and Fraser Health
 - Langley Environmental Partners Society, Little Campbell Watershed Society, Save the Little Campbell Committee, and Nicomekl Enhancement Society
 - Brookwood Village Merchants Association
 - Urban Development Institute and Greater Vancouver Homebuilder's Association
 - Agricultural Advisory and Economic Enhancement Committee, Heritage Advisory Committee, Recreation, Culture, and Parks Advisory Committee, and Seniors Advisory Committee



The Community Plan update process involved five key phases of planning and engagement work. **Phase 1** (April – July 2016) involved raising awareness of the Community Plan update, communicating the scope and timeline of the Plan update, and providing an early opportunity to gather input on community values, key issues, and opportunities. Public engagement activities in Phase 1 included community dialogue sessions (a series of small group conversations), an open house, and a CPT meeting.

Phase 2 (September – November 2016) involved the compilation of background research on existing conditions and Township policies into a Community Profile. This Profile served as key input for public engagement in this phase, which focused on the collaborative development of the draft vision and guiding principles for the updated Community Plan. Public engagement activities in Phase 2 included community workshops (a series of smaller group meetings), an open house, and a CPT meeting.

Phase 3 (December 2016 – March 2017) involved incorporating the background research and engagement feedback received in previous phases in the development of ideas, opportunities and options for land use and strategic policy directions in the undeveloped areas. Public engagement activities in Phase 3 included a CPT meeting and co-design workshop, online engagement, and an open house.

Phase 4 (April – May 2017) involved integrating the consultation feedback received in the previous phases and additional technical analysis in the preparation of a preliminary draft land use plan and associated policies and design guidelines. Technical analysis in this phase included the preparation of a general servicing concept for an integrated transportation network and utility systems. Public engagement activities in Phase 4 included a CPT meeting, a series of community workshops, and an open house.

Phase 5 (June – July 2017) involved assembling and synthesizing all of the background research, technical analysis, and consultation feedback received in the previous phases into a final draft Community Plan. Phase 5 also involved the bylaw process.

A variety of communication techniques were used throughout the Community Plan update in order to raise awareness of the process and public engagement events. These communications included flyer / postcard mailouts to property owners and tenants within the community and rural surrounds, newspaper advertisements, email updates, and a project webpage that served as the key source of public information for the Community Plan update process.



2. VISION AND GUIDING PRINCIPLES

Vibrant, social, sustainable, and livable communities are the result of careful planning and thoughtful design. Designing such communities begins with an established Vision statement for the community and a set of Guiding Principles to support the Vision and ‘set a direction’ for Community Plan policies. The Vision and Guiding Principles are an outcome of community input, policy and technical analysis, and best planning practices.

2.1 VISION

Expressed in broad terms, the Vision describes the desired future state of the community. It serves as an inspiring statement that anticipates what Brookwood-Fernridge will be like in 20 to 25 years. All of the guiding principles, policies, and guidelines set forth in this Community Plan contribute to the realization of the Vision.

Developed in consultation with the Brookwood-Fernridge community and based on the distinct context and opportunities for growth and change, the following Vision statement serves as a foundation of the Brookwood-Fernridge Community Plan.

Vision:

Brookwood-Fernridge is a liveable and tranquil community, known for its towering conifers and small town feel. It has celebrated its history and protected its natural environment through carefully balanced growth and change. Highly walkable and interconnected, it is a complete community providing the right mix of housing for all of its residents. It contains civic, commercial and cultural spaces that support a strong sense of community and a high quality of life.



Artist's rendering of Fernridge neighbourhood centre and surrounding areas in 2042
(location of parks and schools are conceptual)

2.2 GUIDING PRINCIPLES

Guiding principles are broad statements that provide direction for the development of more detailed policies and guidelines. They express a common understanding of how to ultimately realize the community's Vision.

The guiding principles that shaped the development of the policies and design guidelines in this Community Plan are listed below.

Guiding Principles:

1. **Foster a distinct identity and character.** Maintain the existing character and close-knit feel of the developed areas, and establish new neighbourhoods that respect and complement the identity, form, and scale of the developed areas.
2. **Protect the natural environment.** Balance development with the protection of the natural environment, including the aquifer, watercourses, trees, and wildlife habitat, that sustains many essential biological, hydrological, and geological functions.
3. **Commemorate the history of place.** Celebrate heritage by encouraging the retention of buildings with historic significance and incorporating rural characteristics and local history into the public realm.
4. **Build a livable community pattern.** Locate complementary land uses and housing forms together and provide appropriate transitions where different land uses and densities interface.
5. **Integrate effective urban design.** Build attractive, inviting, and pedestrian-oriented buildings, streets, and public spaces.
6. **Cultivate vibrant centres.** Develop and improve community and neighbourhood centres to meet local and daily needs, provide employment opportunities, and serve as community focal points.
7. **Provide housing choices.** Retain existing housing types and lot sizes in developed residential areas and provide an appropriate range of housing options in mixed-use centres and new neighbourhoods.
8. **Support transportation diversity.** Establish a multi-modal transportation system that accommodates pedestrians, cyclists, equestrians, public transit, and automobiles and allows for the safe movement and delivery of people and goods.
9. **Establish public spaces and community services.** Accommodate parks, natural open spaces, community and cultural facilities and other public spaces connected through a network of multi-use trails.
10. **Develop utility infrastructure.** Service new neighbourhoods with municipal water and sewer systems and manage stormwater using both storm sewers and best management practices that replicate natural processes.
11. **Promote health and safety.** Promote neighbourhood designs that support active lifestyles, public safety, and crime prevention.
12. **Ensure benefits from growth.** Use growth and development to provide benefits and amenities for all residents.
13. **Engage citizens in plan implementation.** Provide and encourage active citizen involvement in the implementation of the plan.
14. **Phase new development.** Employ neighbourhood planning processes to initiate development in new neighbourhoods.



3. COMMUNITY FRAMEWORK, CHARACTER, AND IDENTITY

This section of the Brookwood-Fernridge Community Plan describes the planning concept of complete communities – a policy framework that is the foundation for this Plan – and defines the key land use strategy of the community land use pattern. Complete communities are a cornerstone of the vision and policies of the Township of Langley Official Community Plan (OCP). Combined with technical and policy analysis, consultation input and feedback, and best practices, this policy framework underpins the Vision statement and Guiding Principles of this Community Plan, informing policies that delineate a community structure and the character and identity of the community as it grows and changes over time.

3.1 COMMUNITY FRAMEWORK – PLANNING, DESIGN, AND STRUCTURE CONSIDERATIONS

3.1.1 COMPLETE COMMUNITIES

The built environment of any community includes the buildings and infrastructure that support human settlement, ranging in scale from individual buildings to open and green spaces to residential precincts and commercial districts. The built environment also includes supporting infrastructure, such as water supply, energy, and transportation networks.

As stipulated in the OCP, the built environment for the Brookwood-Fernridge community is distinct from other communities in the Township of Langley in terms of its history, character, density, land use, and ultimate development capacity. The development of the built environment in Brookwood-Fernridge is intended to establish a sustainable spatial pattern based on the community design principles of centres, walkability, and viable transit.

In keeping with the Guiding Principles set out in Section 2, a complete community forms the foundation on which growth and change occur, and contributes to the sustainable built environment in the Brookwood-Fernridge community. A complete community is a place that offers and supports a variety of lifestyle choices, providing opportunities for people of all ages and abilities to live, work, shop, learn and play locally.

A complete community is one that offers homes that are located near shops, schools, recreation, work, and other daily destinations, as well as provides safe and convenient opportunities to walk, cycle or take public transit. This helps to reduce the time and money spent on driving, to reduce greenhouse gas emissions, and to make efficient use of land and services. Inherent in this planning concept is sufficient housing to generate a population base that can support commercial services, community amenities, utilities, and public transit.

3.1.2 CENTRES STRATEGY

According to Section 2.4 of the OCP, centres are a starting point for developing the spatial pattern for the Brookwood-Fernridge community and serve as the policy manifestation of a complete community. Centres offer a mix of commercial, employment, residential, medical, educational, and recreational amenities that support the daily needs of residents and workers, and serve as important community gathering places when they are planned and designed as people-oriented spaces. Centres also accommodate a variety of transportation systems, public spaces, and green infrastructure, each of which have a clear place in an organizational spatial hierarchy within the community.

The cohesive and integrative spatial arrangement and pattern of the different components in centres help create synergies among land uses and environmental features, activate the public realm, and create opportunities for housing and mobility choice.

A Hierarchy of Centres

The Brookwood-Fernridge community will be comprised of multiple centres, each varying in size and scale, and serving a specific purpose or function. The Neighbourhood Centre is relatively modest in size, scale, and function, and consists of smaller and/or fewer retail shops and offices that serve the day-to-day needs of the local neighbourhood. The Community Centre is made up of a range of services that meet both daily needs that serve the immediate area, but also includes

community-wide features that provide for the wider area such as a broader range of housing types, and both convenience and comparison retail services and recreational amenities.

The 5- to 10-minute walking radius (400 to 800 metres) is the standard indicator for informing the configuration and distribution of land uses in a centre. Ideally, most of the daily needs and services in the neighbourhood are within this walking radius for most residents in a community. Typically, non-residential uses, such as retail and office uses and community amenities, are clustered at the 'hub' of centres. These non-residential clusters are also highly accessible to surrounding residents.

A Mix of Uses

A mix of uses in a walkable centre provides residents with opportunities to live, work, meet their daily needs, and access key services within their community. Mixing uses is not simply a matter of varying land use on a block-by-block basis, but also integrating complementary uses in a range of appropriate building types within a common area or within the same building. This mix provides community and neighbourhood focal points, which help to create a sense of place.

A mix of uses has an important effect on the function of transportation networks in a community. Mixed uses allow non-vehicular transportation (e.g. walking and cycling) to become viable options for residents. This in turn helps to reduce traffic congestion, as trips that might otherwise be taken by car are either reduced or eliminated.

3.2 COMMUNITY AND NEIGHBOURHOOD CENTRES

Community and Neighbourhood Centres are the key organizing elements for the built environment in the Brookwood-Fernridge area. Each centre will include the elements necessary to contribute to the building of a complete community. The intent of these policies is to establish the spatial framework for the continued development of the community and to promote a distinct community identity.



Illustrative concept of Booth commercial village

Policies:

1. Foster a complete community in Brookwood-Fernridge by organizing the land use pattern for the area around a series of distinct and compact Community and Neighbourhood Centres, as delineated on Map 1, that function as focal points of the Brookwood-Fernridge community and where much of the development intensity will be focused.
2. Design centres to be walkable, using approaches such as clear street grids, 'fine-grained' street, and block patterns that contribute to energy efficient design, create direct connections throughout the centres and areas beyond that accommodate a range of travel modes, ensuring convenient access to neighbourhood and community destinations. Incorporate public open spaces and, in the Commercial Village land use designation, commercial and mixed-use buildings with retail uses that flank public spaces and rights-of-way.
3. Encourage and direct investments and activities to Community and Neighbourhood Centres that will enable those areas to flourish as compact, mixed-use neighborhoods. Centres will be designed to accommodate the community's new commercial business areas, housing, institutional, cultural, and park and open spaces, thereby providing services and employment close to housing, and promoting efficient use of public services, including current and future transit, with housing options for a variety of households and stages of life.
4. Allow local-serving commercial activity in the centres (in the Commercial Village land use designation) that supports the overall function and character of the centre.
5. Integrate as many compatible land use elements in the centres to uphold the goal of building complete communities, as indicated on the Land Use Plan (Map 2).
6. Support convenient access to healthful and affordable food in the centres by providing space to accommodate farmers' markets and community gardens.
7. Cultivate a distinct identity in Community and Neighbourhood Centres that provides residents with a sense of place and differentiates Brookwood-Fernridge from other communities within the municipality and areas throughout the region.



Illustrative concept of Fernridge neighbourhood centre

3.3 NEIGHBOURHOOD AREAS BEYOND THE CENTRES

Neighbourhoods beyond the centres are key organizing elements of the larger spatial structure at the community scale. These areas beyond will consist primarily of residential uses with a variety of housing types and a street network that connects residents, jobs, services, and amenities through various modes of travel. The following policies are intended to guide the development of neighbourhoods in areas beyond the centres that provide quality of life through convenient access to amenities such as local services, parks and open space, and to foster a distinct identity through the integration of natural features and small town characteristics in the built environment.

Policies:

1. Foster a complete community in Brookwood-Fernridge by designing of a series of distinct neighbourhoods in areas beyond the centres that provide residents access to schools, parks, open space, and other local services and amenities, as well as pedestrian and cycling connections within neighbourhoods and areas beyond.
2. Consider limited commercial uses outside of the centres to support the surrounding area with services, yet with the goal of upholding the residential character, as indicated on the Land Use Plan (Map 2) or through a neighbourhood plan.
3. Establish a distinct identity through natural features and place-making elements for neighbourhoods that provide visual interest and a sense of place or belonging for residents.
4. Support healthy and active neighbourhoods by providing ready access to parks, open spaces, trails, greenways, and services that make it easy for residents to have physical activity and a means to meet many of their daily needs.
5. Establish street and block patterns that contribute to energy efficient neighbourhood design and create direct connections throughout the neighbourhood and areas beyond that provide for a range of travel modes, ensuring convenient access to local and community destinations.

3.4 RESIDENTIAL CLUSTER DEVELOPMENT

Residential cluster development is the land planning practice of clustering or grouping new housing development on a portion of a development site, as a means of protecting open space, existing character, wildlife habitat, and other natural features on the other part of the same development site. This 'plan with the land' approach is essentially a transfer of development entitlements or density from one part of the site to concentrate the development in another part of the site in order to secure increases in overall open space or conservation spaces in the community.



Residential cluster development serves as a policy mechanism that contributes to the overall structure of the community by identifying predefined 'cluster designation areas' that will create a network of permanently protected spaces (e.g. significant tree patches, conservation areas, and

other 'green' infrastructure) that supports and balances broader community development and community planning goals of the Plan. The objective of the following policies is to promote the preservation of open spaces for conservation within residential land uses in centres and neighbourhoods beyond, through neighbourhood planning processes.

Policies:

1. Provide for residential cluster development and identify Cluster Designation Areas for lands designated for residential development, as identified through neighbourhood planning processes.
2. Encourage residential cluster developments, where possible, in environmentally sensitive areas and/or areas with natural features such as watercourses, lakes, ponds, and trees.
3. Consider incentives for new multi-family and single family residential developments to adopt a clustered form of development such as smaller lot sizes for single family lots and permitting different building forms for multi-family development.
4. Require the design of residential cluster developments to be consistent with the overall community character policy goals of this Plan.
5. Protect the undeveloped or preserved portions of development sites through park land designations or other legal instruments.
6. Pursue opportunities to establish a publicly-accessible, connected network of open spaces preserved through the residential cluster development.
7. Open Spaces include undeveloped lands connected to publicly accessible spaces such as parks, nature preserves and trails. These areas shall be linked to other natural areas through ecological corridors of sufficient size to allow for wildlife movement between areas. Open spaces may also include protected natural lands, wetlands, and wildlife habitat pockets containing second growth forest, hedges, scrublands and other modified ecosystems.
8. Natural Spaces include environmentally sensitive areas, habitat for native plants and animals and species at risk. Mapping and inventories must identify areas to be protected in a relatively natural state within subsequent neighbourhood community plans in order to facilitate sensitive development that protects natural values. Environmentally sensitive areas also include existing artificial lakes in Brookwood-Fernridge (see Section 6.2, Policy 2).

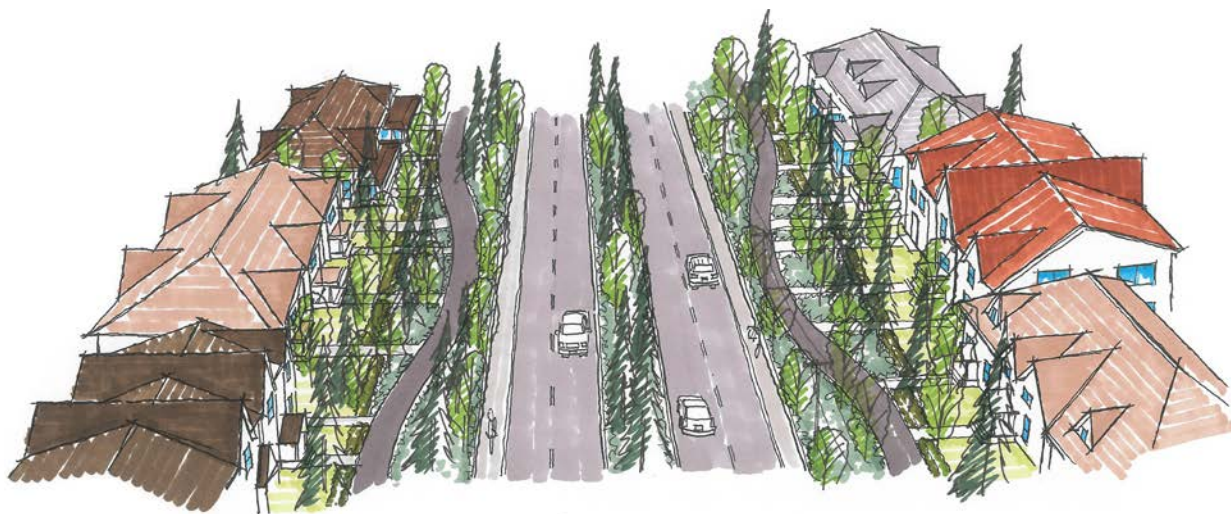
3.5 COMMUNITY CHARACTER AND IDENTITY

Cultivating a distinct community character and identity provides residents with a strong sense of place and differentiates the area from other communities in the municipality. Brookwood-Fernridge currently consists of two fairly distinctive areas, but the towering conifers and small town feel are key characteristics that transcend the whole community. Elements of small town character include low scale buildings, social interaction, walkability, and natural features and open spaces, both within and along the edges of the community. As growth and change occur in some parts of the community, these and other local character elements should be integrated into the design of new neighbourhoods and centres. The following policies aim to ensure that the community, the centres, and neighbourhoods beyond the centres are designed to foster a distinct identity.

Policies:

1. Establish and integrate the character and identity of the community, neighbourhoods, and centres through:
 - a. the preservation of unique natural features, the natural beauty, and distinctive natural heritage, such as, but not limited to, sightlines and views, watercourses and associated conservation areas, lakes, ponds, treed boulevards, and significant tree stands (existing and next generation), specifically coniferous
 - b. the integration of natural features into the design of the built environment such as new developments, parks, trails and road boulevards
 - c. quality landscape architecture and urban design that reflect small town and/or rural character elements and create attractive roads and streetscapes, parks, greenways and other public spaces, including accommodating equestrians on some trails, especially those near the Agricultural Land Reserve and the Campbell Valley Regional Park
 - d. strong gateways, landmark and edge conditions
 - e. street names and/or signage that reflect local history and/or natural features
 - f. public art that is integrated within public places
 - g. the identification of historical resources, and development of interpretive features about such sites and the broader area
 - h. the retention and enhancement of the urban forest and tree canopy to the greatest extent possible by retaining mature and significant trees, and integrating the next generation of trees through development and in the design of public spaces
 - i. the design of 200 Street as a “Great Street” with, for example, wider boulevard, treed centre medians and other unique place-making features, particularly for the section between the Community Commercial Village at 40 Avenue and the Neighbourhood Commercial Village at 24 Avenue
 - j. the consideration of supplementary scale and massing guidelines (e.g. height, coverage and setbacks) for single family dwellings





200 Street as a “Great Street” to enhance community character and identity

2. Design the built environment to promote walkability and social interaction through:
 - a. fine-grained and well connected streets, greenways and trail networks
 - b. buildings that face sidewalks and streets, rather than rear yards, driveways, and parking areas, to provide casual surveillance and a continuous sidewalk
 - c. sidewalks and trails that incorporate street furniture, lighting, and other amenities to enhance the pedestrian experience
 - d. centres and neighbourhoods that incorporate public gathering places, such as parks and plazas
 - e. building design elements such as extended front porches or ‘stoops’ for all ground-oriented residential uses
 - f. building façades that are visible from public streets, lanes, walkways, parks, and trails to provide architectural interest
 - g. public pedestrian connections and access integrated in larger multi-family development sites



4. LAND USE

Land use designations and their corresponding policies help achieve the overall Vision of the Community Plan by identifying the intended use of land. These designations, shown on the Land Use Plan (Map 2), are intended to guide growth and change in Brookwood-Fernridge over the next 20 to 25 years.

The designations shown on Map 2 include residential, commercial and institutional land uses. Approximately 1,050 hectares (2,600 acres) of land is designated for residential uses (including the mixed use Commercial Village areas), representing approximately 73% of the total Community Plan area. Of these residential land uses, approximately 91% is designated for single family, 6% is designated for multi-family and mixed use, and 3% is designated for manufactured home parks. The Land Use Plan for the entire Brookwood-Fernridge Community Plan area accommodates an ultimate projected population of 39,000 at build-out. The approximate build-out populations of the individual neighbourhoods are as follows:

- Rinn - 5,200
- Booth – 11,700
- Fernridge – 9,000
- Glenwood – 3,500

4.1 GENERAL RESIDENTIAL LAND USE POLICIES

The following policies apply to all land use designations that accommodate a residential use:

Policies:

1. Calculate the land area density on the basis of gross developable land area where the minimum or maximum density is expressed in terms of units per hectare (units per acre). Gross developable land area includes land dedicated for new roads, land above the top-of-bank protected for watercourses, and land secured for transmission lines and other utilities provided they are upgraded as a linear park system. For clarity, gross developable land area does not include land dedicated for stormwater detention ponds.
2. Encourage a variety of tenures (e.g. ownership and rental).
3. Encourage a variety of housing sizes (e.g. number of bedrooms) and floor layouts (e.g. master bedroom on the ground floor).
4. Encourage innovative building design and forms that optimize the use of sites by preserving green space.
5. Permit seniors housing facilities (e.g. community care facilities, assisted living residences, and supportive housing) within any residential land use designation, subject to the facility being consistent with the policies specific to that land use designation.
6. Require adaptable housing design features in a minimum of 10% of apartment units and 5% of all other housing units, as required in the Official Community Plan.
7. Require new single family developments to enter into an exterior design control agreement. The agreement should address the following general guidelines for new developments:
 - a. retain existing significant trees, especially coniferous trees
 - b. incorporate a high quality design and employ an architectural approach that is harmonious with the community context (e.g. low scale, pedestrian-friendly buildings)
 - c. require developments to complement adjacent developments in terms of siting, form, and character, but individual architectural expression is encouraged both within and between street blocks
 - d. encourage all visible building elevations to provide architectural interest, especially those that are visible from public streets, lanes, walkways, parks and trails
 - e. provide a strong street presence through street facing buildings that include elements such as extended front porches. Single family dwellings should not back onto a public road.
 - f. encourage single family dwellings located on corner lots to address both street edges and have the front door face the intersection

4.2 SINGLE FAMILY 1

The Single Family 1 land use designation accommodates single family dwellings with a minimum lot size of 0.8 hectares (2 acres), except for the area along 204A Street between 20 and 24 Avenues where a minimum lot size of 3,716 m² (0.9 acre) may be considered, and the properties with frontage on 208 Street north of 28 Avenue where limited infill subdivision may be considered. The intent of these policies is to ensure that larger lot, low-density single family housing is provided for lands that are encumbered by steep ravines and escarpments, lake-front habitats, and equestrian supportive properties adjacent to the Campbell Valley Regional Park.

Policies:

1. Accommodate single family dwellings on a minimum lot size of 0.8 hectares (2 acres) within areas designated Single Family 1.
2. Permit the area along 204A Street between 20 and 24 Avenues to be used as single family dwellings on a minimum lot size of 3,716 m² (0.36 hectare or 0.9 acre), despite Policy #1 of this subsection.
3. Consider infill subdivision of properties with frontage on 208 Street north of 28 Avenue subject to:
 - a. each new lot having a minimum useable area (e.g. land area beyond the natural boundary of the lake) of 2,000 m² (0.2 hectare or 0.5 acre)
 - b. each new lot having a minimum frontage of 45 metres (148 feet)
 - c. no increase in the number of lots with access to the lake
 - d. no increase in individual lot access to 208 Street

4.3 SINGLE FAMILY 2

The Single Family 2 designation accommodates single family dwellings with a minimum lot size of 930 m² (10,000 ft²), except for the area that is both east of 208 Street and north of 43 Avenue where a minimum lot size of 650 m² (7,000 ft²) may be considered. To support the application of residential cluster development (see Section 3.4) and the retention of significant trees, tree stands, and other natural features, the Single Family 2 designation provides for the consideration of single family dwellings with a lot size between 650 m² (7,000 ft²) and 930 m² (10,000 ft²) to be determined through more detailed neighbourhood planning. Single family dwellings with a lot size between 650 m² (7,000 ft²) and 930 m² (10,000 ft²) may only be considered where land is being protected for conservation, open space, and/or ALR buffer purposes, through residential cluster development (see Section 3.4) and other regulatory mechanisms, subject to more detailed neighbourhood planning and Council's consideration at time of development.

These policies are intended to ensure large- and medium-sized lot, single family housing for lands furthest away from the centres, and to encourage the retention of significant trees and other natural features through residential cluster development.

Policies:

1. Accommodate single family dwellings on a minimum lot size of 930 m² (10,000 ft²) within areas designated Single Family 2.
2. Permit the area that is both east of 208 Street and north of 43 Avenue to be used as single family dwellings on a minimum lot size of 650 m² (7,000 ft²), despite Policy #1 of this subsection.
3. Consider a lot size between 650 m² (7,000 ft²) and 930 m² (10,000 ft²) through more detailed neighbourhood plans where land is being protected for tree retention, conservation, open space, and/or ALR buffer purposes through residential cluster development (see Section 3.4). The neighbourhood plan will provide a more detailed land use plan that indicates more specifically where a lot size less than 930 m² (10,000 ft²) will be considered and policies regarding the amount of land that must be protected to allow the consideration of a lot size less than 930 m² (10,000 ft²). For clarity, 650 m² (7,000 ft²) is the smallest lot size that may be considered through more detailed neighbourhood planning; a neighbourhood plan will consider other lot sizes between 650 m² (7,000 ft²) and 930 m² (10,000 ft²).
4. Require single family lots that are directly across a street from lands designated Single Family 1 to maintain a minimum lot size of 930 m² (10,000 ft²), despite Policy #3 of this subsection.
5. Where land is being protected for conservation (including tree stands), open space, and/or urban-rural edge buffer purposes, based on analysis conducted as part of a more detailed neighbourhood planning process, single family lots between 650 m² (7,000 ft²) and 930 m² (10,000 ft²) may be considered, subject to no more than 10% of the total land area being less than 930 m² (10,000 ft²) per neighbourhood.

4.4 SINGLE FAMILY 3

The Single Family 3 designation accommodates single family dwellings with a minimum lot size of 650 m² (7,000 ft²). To support the application of residential cluster development (see Section 3.4) and the retention of significant trees, tree stands, and other natural features, to provide a range of housing types, and to facilitate appropriate transitions between different land uses and densities, the Single Family 3 designation provides for the consideration of smaller lots and other complementary dwelling types, to be determined through more detailed neighbourhood planning. Single family dwellings with a lot size between 464.5 m² (5,000 ft²) and 650 m² (7,000 ft²), manufactured home parks, detached and duplex strata developments, cottage housing / pocket neighbourhoods, duplexes, and semi-detached dwellings may be considered subject to more detailed neighbourhood planning. For clarity, the range of lot sizes and housing types described in this Section may only be considered where land is being protected for conservation, open space, and/or ALR buffer purposes, through residential cluster development (see Section 3.4), along arterial and collector roads, and within a community or neighbourhood centre, as shown on Map 1. Other regulatory mechanisms will be explored subject to more detailed neighbourhood planning and Council's consideration at time of development.

The purpose of these policies is to guide medium- and small-lot, single family housing and other complementary residential types in walkable neighbourhoods that are within or adjacent to centres and to encourage the retention of significant trees, tree stands and other natural features through residential cluster development.

Policies:

1. Accommodate single family dwellings on a minimum lot size of 650 m² (7,000 ft²) within areas designated Single Family 3.
2. Consider a lot size between 464.5 m² (5,000 ft²) and 650 m² (7,000 ft²) through more detailed neighbourhood plans if one or more of the following conditions exist:
 - a. where land is being protected for tree retention, conservation, open space, and/or ALR buffer purposes through residential cluster development (see Section 3.4)
 - b. where the proposed lots are located along arterial and collector roads

The neighbourhood plan will provide a more detailed land use plan that indicates more specifically where a lot size less than 650 m² (7,000 ft²) may be considered. In the case of residential cluster development, the neighbourhood plan will also provide policies regarding the amount of land that must be protected to allow the consideration of a lot size less than 650 m² (7,000 ft²). For clarity, 464.5 m² (5,000 ft²) is the smallest lot size that may be considered through more detailed neighbourhood planning; a neighbourhood plan will consider other lot sizes between 464.5 m² (5,000 ft²) and 650 m² (7,000 ft²) (e.g. 557 m² (6,000 ft²) lots).

Where land is being protected for conservation (including tree stands), open space, and/or urban-rural edge buffer purposes, based on analysis conducted as part of a more detailed neighbourhood planning process, single family lots less than 650 m² (7,000 ft²) may be considered, subject to the following:

- no more than 10% of the total land area being less than 650 m² (7,000 ft²) up to 464.5 m² (5,000 ft²) per neighbourhood
3. Explore manufactured home parks, detached and duplex strata developments (including rancher-style developments), and cottage housing / pocket neighbourhoods through more detailed neighbourhood plans if one or more of the following conditions exist:
 - a. where land is being protected for tree retention, conservation, open space, and/or ALR buffer purposes through residential cluster development (see Section 3.4)
 - b. where the proposed development is located along arterial and collector roads
 - c. where the proposed development is located within a community or neighbourhood centre, as shown on Map 1

The neighbourhood plan will provide a more detailed land use plan that indicates more specifically where these housing types may be considered. In the case of residential cluster development, the neighbourhood plan will also provide policies regarding the amount of land that must be protected to allow the consideration of these housing types.

4. Consider duplexes and semi-detached dwellings in neighbourhood plans along arterial and collector roads and on corner lots. The neighbourhood plan may provide further policies regarding these types of housing.
5. Restrict residential uses on Lot A Plan NWP85336 and residential uses that are directly across a street from lands designated Single Family 1 or Single Family 2 to single family dwellings on a minimum lot size of 650 m² (7,000 ft²), despite Policies #2, #3, and #4 of this subsection.

4.5 ROWHOUSE/TOWNHOUSE

The Rowhouse/Townhouse land use designation accommodates a range of fee simple rowhomes and strata townhomes. These compact housing forms are located within centres and provide residents with reasonable walking distances to commercial services and public amenities.

Policies:

1. Locate fee-simple rowhome and strata townhome developments in areas designated Rowhouse/Townhouse.
2. Permit all rowhome and townhome buildings to have a maximum height of two and a half (2.5) storeys, except where a neighbourhood plan has identified areas where a maximum of three (3) storeys may be allowed.
3. Provide for a maximum density of 35 units per hectare (14 units per acre), except where a neighbourhood plan has identified areas where a maximum density of 54 units per hectare (22 units per acre) may be permitted.



4.6 APARTMENT

The Apartment land use designation accommodates low-rise apartments incorporated in strategic locations in the Plan area. These denser housing forms shall be located within centres and provide residents with reasonable walking distances to commercial services and public amenities.

Policies:

1. Locate low-rise apartment developments in areas designated Apartment.
2. Permit all buildings to have a minimum height of two (2) storeys and a maximum height of four (4) storeys.
3. Provide for a minimum density of 99 units per hectare (40 units per acre) and a maximum density shall be 148 units per hectare (60 units per acre).
4. Provide off-street parking in a concealed manner (e.g. below-grade structured parking, 'tuck-under' parking).



4.7 MANUFACTURED HOME PARK

The Manufactured Home Park land use designation supports the retention of historically-designated manufactured home parks. This includes the four existing manufactured home parks located south of 26 Avenue. The intent of these policies is to ensure the retention of the designated manufactured home parks and appropriate adherence to provincial and municipal policy in the redevelopment of non-designated manufactured home parks.

Policies:

1. Retain manufactured home parks within areas designated Manufactured Home Park.
2. Provide for a maximum density of 20 units per hectare (8 units per acre).
3. Ensure that redevelopment of non-designated manufactured home parks complies with the Township of Langley Mobile Home Park Redevelopment Policy No. 07-121 and other relevant municipal policies and provincial statutes.

4.8 COMMERCIAL VILLAGE

The Commercial Village land use designation accommodates vibrant centres that provide commercial services and other amenities for local residents and form the 'heart' of the neighbourhood and community. Commercial Village areas north of 36 Avenue shall accommodate locally-serving commercial uses. Commercial Village areas south of 36 Avenue shall accommodate locally-serving commercial uses on the ground floor with one (1) to three (3) storeys of commercial uses, office uses or apartments above the ground floor in mixed-use building forms. The intent of these policies is to ensure that Commercial Village development is pedestrian-friendly, integrated into its surrounding context and designed to maximize quality of experience for users and business owners and employees and quality of life for residents.



Policies:

The following policies apply to Commercial Village designated areas north of 36 Avenue:

1. Encourage the Commercial Village area at 200 Street and 40 Avenue and 208 Street and 42 Avenue to function as neighbourhood commercial areas, providing convenient neighbourhood shopping facilities for common daily requirements.

The following policies apply to Commercial Village designated areas south of 36 Avenue:

2. Require locally-serving commercial uses (e.g. grocery stores, pharmacies, coffee shops, restaurants, neighbourhood pubs, and medical services) to be located on the ground floor, except where a neighbourhood plan has identified areas where ground floor commercial uses are not required.
3. Ensure all buildings (except gas stations) have a minimum height of two (2) storeys. Uses above the ground floor may include locally-serving commercial uses, office uses, or apartments.
4. Allow a maximum height of four (4) storeys.
5. Provide for a maximum density of 111 units per hectare (45 units per acre) where apartment uses are incorporated above the ground floor.
6. Permit a maximum lot coverage of 40%, except where a neighbourhood plan has permitted otherwise.
7. Limit individual commercial units to a maximum floor area of 1,000 m² (10,764 ft²), except for the following commercial uses:
 - a. grocery stores
 - b. pharmacies
 - c. fitness centre
 - d. daycares
 - e. office uses above the ground floor
8. Prohibit big box retail, drive-throughs, gas stations, vehicle sales, and vehicle servicing uses in the Commercial Village, except where a neighbourhood plan has provided more specific location and siting policies.
9. Prohibit vehicle servicing, repair, washing, sales or fuel dispensing facilities, hazardous liquid storage facilities, such as drycleaners, in the Commercial Village at 200 Street and 32 Avenue (see Section 8.2).
10. Include cultural, educational, recreational, and other assembly services and amenities in the Commercial Village.

4.9 CONVENIENCE COMMERCIAL

The Convenience Commercial land use designation accommodates small-scale, convenience commercial services for local residents. Convenience Commercial buildings may be located on local or main roads and shall be limited to lower impact uses such as professional offices, hair salons, and small coffee shops. Commercial retail units shall be provided on the ground floor with residential units permitted above. The intent of the policies is to promote live-work arrangements for local residents and ensure that Convenience Commercial developments are integrated into the overall community character.

Policies:

1. Require small-scale commercial uses (e.g. convenience stores, coffee shops, and small restaurants) to be located on the ground floor.
2. Permit all buildings to have a maximum height of two (2) storeys. Uses above the ground floor may include convenience commercial uses, small-scale office uses, or apartments.
3. Provide for a maximum density of 37 units per hectare (10 units per acre) where apartment uses are incorporated above the ground floor.
4. Restrict individual commercial units to a maximum floor area of 500 m² (5,382 ft²).
5. Prevent drive-throughs in the Convenience Commercial land use designation.
6. Consider through more detailed neighbourhood planning additional or expanded locations for Convenience Commercial uses to serve local residents.

4.10 INSTITUTIONAL

The Institutional land use designation accommodates educational facilities, recreation centres, civic buildings, community care facilities, and places of worship that are essential for a thriving community. The conceptual location of new elementary, middle, and secondary schools is shown on the Open Space and Community Facilities Map (Map 3) and will be monitored as the community grows and more detailed locational planning will be accommodated within neighbourhood plans. The intent of the following policies is to maintain existing community and educational facilities and to enhance accessibility to new facilities.

Policies:

1. Accommodate institutional uses within areas designated Institutional. Ensure that new or expanded institutional developments are consistent with the form, scale, and character of adjacent land uses.
2. Consider the redevelopment of an existing institutional use provided the redevelopment is consistent with the policies of an immediately adjacent land use designation.
3. Consider new community facilities (e.g. daycares, seniors' centres, and places of worship) in any land use designation (except for the Single Family 2 area north of 36 Avenue on the east side of 200 Street and north of 33A Avenue on the west side of 200 Street) subject to:
 - a. the site being located on a collector road (as opposed to a local road)
 - b. the site having access to an adequate transportation network for the proposed size of the facility
 - c. the site having adequate off-street parking and/or drop-off and pick-up space
 - d. the proposed development being consistent with the form, scale, and character of adjacent land uses
4. Encourage new daycares to locate on or adjacent to school sites.
5. Allow new schools in any land use designation.

4.11 PARK AND OPEN SPACE

The Park and Open Space land use designation accommodates parks and open spaces. The conceptual location of new parks and open spaces is shown on Map 3 and will be monitored as the community grows and more detailed locational planning will be accommodated within neighbourhood plans. The following policies aim to maintain existing green space and retain significant tree stands within these areas.

Policies:

1. Retain parks and open spaces within areas designated Park and Open Space.
2. Preserve significant tree stands and fields in order to accommodate wildlife.
3. Preserve parks and open spaces in association with forest and fish habitat.
4. Allow new parks and open spaces in any land use designation.

4.12 CONSERVATION

The Conservation land use designation indicates the conceptual extent of conservation areas around fish-bearing watercourses, which may include streamside wildlife habitat and vegetation.

Policies:

1. Protect areas designated Conservation in accordance with the Streamside Protection and Enhancement Development Permit Area of the Official Community Plan (OCP).
2. Preserve significant tree stands in order to accommodate wildlife. Favourable consideration shall be given to development projects which include provision for significant preservation of forests, such as clustered residential developments.

4.13 UTILITY

The Utility land use designation accommodates existing utility infrastructure and facilities. The intent of the following policies is to encourage alternative uses of utility corridors, such as passive recreation and urban agriculture.

Policies:

1. Allow utility uses in areas designated Utility.
2. Encourage the hydro utility corridor north of 40 Avenue to accommodate other uses, such as passive recreation and urban agriculture.



5. OPEN SPACE AND COMMUNITY AMENITIES

Parks, open spaces, and community amenities contribute to making Brookwood-Fernridge complete and support the physical, mental, environmental, social, and cultural health of the community. Access to parks, open space, and recreation areas can improve the health of residents and provide valuable urban wildlife and vegetation habitat. Recreational and cultural amenities such as heritage spaces, and art and performance venues contribute to civic identity, and create a sense of place, enrich lives, and inspire creativity and innovation.

The objective of the Community Plan policies is to preserve, provide, and enhance park land, open space, and community amenities for the health, educational, social, recreational, and cultural enjoyment of the community. The distribution of park, open space, and community amenities will depend on allocation in currently served areas, the location of new and existing community amenities, and the presence of other institutional providers that service the social and cultural needs of the community.

5.1 COMMUNITY, NEIGHBOURHOOD, AND POCKET PARKS

The Township of Langley Parks and Recreation Master Plan outlines a park provision standard as a means to determine the additional park space requirements given the proposed population projected for Brookwood-Fernridge. Park land is allocated as per the following:

- Neighbourhood Park – neighbourhood parks are intended to serve an area equivalent to the catchment area of an elementary school and to provide for the active athletic and recreational requirement of the neighbourhood (0.8 hectares or 2 acres per 1,000 people)
- Community Park – community parks, both for passive and athletic uses, are intended to serve an area equivalent to the catchment area of a secondary school (0.8 hectares or 2 acres per 1,000 people), and provide extensive activity areas and special recreational facilities
- Pocket Parks and Plazas – pocket parks and plazas are located strategically to create green open space for sitting, eating, resting and playing (0.2 hectares or 0.5 acres per 1,000 people)



Policies:

1. Accommodate an additional 34 hectares (84 acres) of parks space in the form of community and neighbourhood parks in the approximate locations within the community as indicated on Map 3.
2. Incorporate pocket parks along greenways, plazas and other community gathering spaces within appropriate locations as determined through neighbourhood planning processes.
3. Provide parks and plazas as part of new community facilities, and ensure public use and access.
4. Integrate park planning and design into broader community planning initiatives related to land use, residential development, transportation, and community amenity provision.
5. Promote the use of indigenous plants in park landscaping.
6. Continue to give due consideration to preserving land for open space in reviewing new development within Brookwood-Fernridge.
7. Enhance the connection between different open space areas, where feasible, to create or maintain an open space network.
8. Implement effective landscape design of parks and open spaces, and apply Crime Prevention Through Environmental Design (CPTED) guidelines to enhance safety and comfort.

5.2 NATURAL PARKS AND TRAILS

Natural parks provide a sense of community character within Brookwood-Fernridge, and trails within natural parks provide public access to the unique natural features of the area. Natural parks include permeable landscapes and natural features that provide many important ecological services that need to be considered when expanding on existing trails or planning for development near these natural areas.

Policies:

1. Identify significant tree stands and consider the use of amenity charges and other development incentives to protect significant tree stands as natural parks as determined through neighbourhood planning processes.
2. Encourage integration and connectivity, and provide low-impact, passive recreation opportunities within natural parks and adjacent to conservation areas, as shown on Map 3, where appropriate.
3. Develop nature trails as conceptually illustrated on Map 3. Ensure that trails located adjacent to watercourses and the Agricultural Land Reserve are constructed in accordance with federal and provincial regulations and guidelines (as applicable).
4. Enhance or create trails that connect open spaces and conservation areas, where possible, as conceptually illustrated on Map 3. Explore further trail opportunities as part of neighbourhood planning processes.
5. Locate other trail connections and develop funding strategies to facilitate equitable cost-sharing as part of neighbourhood planning processes.

5.3 STREET GREENWAYS

Street greenways are wide boulevards along major roads, providing an attractive environment to encourage active modes of transportation. Street greenways provide pedestrian and cyclist access throughout the community, connect the public to important community amenities and contribute to the overall health and safety of the community. To provide a continuous route throughout Brookwood-Fernridge, street greenways are connected with the public street network.



Policies:

1. Develop a multi-use recreational greenway system as conceptually indicated on Map 3. Explore further greenway opportunities as part of neighbourhood planning processes.
2. Promote connecting Community and Neighbourhood Centres and community facilities by greenways.
3. Retain and integrate, where possible, existing mature and significant trees within the greenway right-of-way.

4. Locate greenways adjacent to community, neighbourhood, and pocket parks, and urban greens and plazas.
5. Maintain contiguous greenway paths.
6. Incorporate greenway designs with stormwater capture, detention, and release functions.
7. Limit driveway crossings over street greenways.
8. Design greenways to conform with Crime Prevention Through Environmental Design (CPTED) guidelines to enhance user safety and comfort. Guidelines include:
 - a. careful placement of plants to maintain visibility of greenway users
 - b. use low-ground vegetation covers (less than three feet in height)
 - c. allow users to view entrances, exits, pathways and the immediately surrounding areas
 - d. ensure effective lighting along walkways and entrances

5.4 PUBLIC COMMUNITY FACILITIES

Population growth in Brookwood-Fernridge is projected to generate demand for additional community facilities, including schools. These facilities are integral in community cohesion and social interaction between community members as they serve the social, educational, health, cultural and recreational needs of the community.

Existing schools are shown on the Open Space and Community Facilities Map (Map 3). Conceptual locations and grade configurations of new schools were assessed in consultation with the School District No. 35 (Langley), and are also shown on Map 3; however, the actual number, location, and grade configurations of new schools may change as the community develops and will be reviewed with the creation of future neighbourhood plans.

Policies:

1. Enhance the existing and/or develop a new recreation centre to accommodate the recreation needs of a growing community.
2. Locate new community facilities such as recreation centres and libraries in close proximity to Community and Neighbourhood Centres to maximize access for pedestrians, cyclists, and transit users.
3. Locate community level recreation services (e.g. playing fields, water parks, and skateboard parks) and similar facilities in close proximity to or within community parks.
4. Encourage new community facilities and schools to be located adjacent to greenways, open spaces, or tree protection areas provided they do not have a significant adverse affect on their ecological integrity or viability.
5. Locate new school sites adjacent to neighbourhood or community parks.
6. Centrally locate new schools within a neighbourhood.
7. Enhance accessibility to new school sites by multiple forms of transportation including biking, walking, and public transit.

5.5 HERITAGE RESOURCES

Although there is a lack of material evidence that demonstrates early use of the area by First Nations peoples on the landscape today, the presence of recorded archaeological sites within the greater Brookwood-Fernridge area, the Semiahmoo-Langley Trail, and the Campbell River (a historically rich salmon spawning ground) provides considerable basis for archaeological potential within the area. The provincial Archeology Branch maintains and oversees the legislative processes for the management of archaeological sites throughout British Columbia, and landowners are required to conform to provincial requirements with respect to both known and unknown sites.

The historic and cultural resources in the Brookwood-Fernridge that are visible today reflect the cultural and community life of the area during the early to middle decades of the twentieth century. Historic assessments have been completed for several buildings located in the Brookwood-Fernridge area, including the Fernridge Hall, the Glenwood School, the Langley Playhouse, and the Life Tabernacle. The assessments were conducted to determine the heritage value and significance of each site to the community and to assess their eligibility for inclusion on the Township of Langley's Heritage Inventory.



Sites of historic significance within Brookwood-Fernridge area include (as shown on Map 3):

- Glenwood Elementary School, 20785 – 24 Avenue, constructed in 1912 to serve the increasing rural population
- Fernridge Hall, 2389 – 200 Street, constructed in 1921 to serve as a gathering space for the growing community
- Langley Playhouse, 4307 – 200 Street, constructed in the 1930s as Brookwood Community Hall and converted to the Playhouse in 1972
- Life Tabernacle, 4447 – 200 Street, constructed in the 1940s as St. Paul's Anglican Church and transferred to the ownership of the Pentecostal Church of British Columbia in 1969

An additional site, the Noel Booth Store and Gas Station, which stood for many years on 24 Avenue, had received past recognition. However, following a publicly advertised process to relocate the buildings, one of the three small structures was relocated to another site in the Township and restored, and the remaining two were demolished.

In 2012, Township Council endorsed a Heritage Strategy that outlines the strategic goals and actions for heritage sites to 2022. The Strategy recognizes the importance of Langley's historic and archaeological resources, its rural lands, and its natural landscapes in developing complete sustainable communities.

Policies:

1. Retain identified sites in the area in recognition of their historic value to the community by using heritage conservation instruments such as heritage revitalization agreements, to vary density, siting and other regulations, to achieve successful outcomes in integrating historic buildings with new infill development.
2. Consider financial incentives, such as permissive tax-exemptions, that may assist owners in heritage retention, and maintain incentives, such as the Heritage Building Incentive Grant Program, that support owners in their long-term repair and maintenance of heritage resources.
3. Encourage owners to utilize best practices in conservation planning in making changes to heritage resources by complying with the Standards and Guidelines for the Conservation of Historic Places in Canada.
4. Ensure that the scale and character of new infill on heritage sites is compatible with the existing resources.
5. Avoid unauthorized damage to archaeological sites by encouraging landowners and service providers to fulfill their obligations under the Heritage Conservation Act to the provincial Archaeology Branch.
6. Communicate the historic value of the area through a variety of means including complementary public realm design, historic interpretation, public art, and signage that addresses the tangible and intangible history of the area. For interpretive purposes, topics of significance include:
 - a. the history of Noel Booth, for whom many community facilities and places are named, at or in close proximity to the Fernridge Village Centre at 24 Avenue and 200 Street
 - b. the history of the early Semiahmoo-Langley Trail at or in close proximity to the commercial village planned for 32 Avenue and 200 Street
7. Document for the archives any listed resources that cannot, for legitimate reasons, be retained through As-found Reports. In such instances, salvage opportunities will be encouraged.



6. ENVIRONMENT

To achieve sustainable outcomes within the Township, planning for complete communities requires the facilitation of decision making to carry out development goals with due consideration given to the natural environment. Within Brookwood-Fernridge, planning policies guide the protection of groundwater resources, watercourses, existing significant tree stands, and wildlife habitat.

Planning for the natural environment also involves addressing energy and water conservation as well as greenhouse gas (GHG) emissions. This is further facilitated by development of parks and greenways to ensure wildlife corridors are maintained.

6.1 AQUIFER (GROUNDWATER)

The Township is committed to the protection of aquifers which are a source of drinking water and influence stream flow and water quality. Nearly all of Brookwood-Fernridge is underlain by the Brookwood Aquifer, an unconfined aquifer highly vulnerable to possible contamination. The Community Plan policies below reinforce the recommendations highlighted in the Water Management Plan (WMP) and the Anderson Creek and Fernridge Integrated Stormwater

Management Plans (ISMPs). The overarching objectives of the WMP and ISMPs provide direction to better protect the water resources in Brookwood-Fernridge, including protecting quantity of groundwater supply, protecting groundwater quality, and promoting healthy habitat for fish, riparian, wetland and recharge areas, and recreation areas.

Policies:

1. Promote low impact development and best management practices (BMPs) for stormwater treatment and infiltration measures to maintain pre-development infiltration rates and the integrity of groundwater aquifers.
2. Capture and transport stormwater with potentially contaminated runoff to treatment and detention areas that are located outside of the 20-year capture zones of the Township wells. Where it is not possible to transport stormwater outside the 20-year capture zones, provide adequate on-site treatment.
3. Integrate the WMP principles and groundwater BMPs within new land developments in order to minimize impacts on groundwater quantity and quality.
4. Increase public awareness and education about groundwater quality and quantity, including potential contaminants, and how groundwater supports ecosystems and promotes a healthy environment.

6.2 WATERCOURSES, WATERBODIES, AND ENVIRONMENTALLY SENSITIVE AREAS

The health and quality of the watersheds are a reflection of the integrity of the ecosystem as a whole. Watersheds are dynamic systems that respond to changes in land use and hydrology, which, if not properly managed, can lead to reductions or disappearance of fish and wildlife, increased contamination of surface and ground waters, increased frequency and magnitude of floods, and a general decrease in the quality of life of local residents. The policies below reinforce watercourse protection requirements in the Township's Official Community Plan (OCP) and recommendations highlighted in the Anderson Creek and Fernridge ISMPs.

Policies:

1. Require developments to conform to the Township's Streamside Protection and Enhancement Development Permit Area in the OCP.
2. Protect the existing lakes in Brookwood-Fernridge as environmentally sensitive areas.
3. Continue to pursue watershed and sub-watershed planning work throughout the Township and in partnership with adjacent municipalities, government agencies, and other organizations.
4. Continue to pursue consultation opportunities with landowners and the development community within sensitive watershed areas.
5. Facilitate the mitigation of adverse impacts by development (e.g. impervious surfaces) on peak flow, runoff volumes, and water quality.
6. Review and, if necessary, update the Watercourse Classification Map in the OCP as part of more detailed neighbourhood planning processes.

6.3 TREES (URBAN FORESTRY)

Land use planning and potential development areas have been designed with consideration of the community's significant tree stands. The Township of Langley Subdivision and Development Servicing Bylaw 2011 No. 4861, as amended, defines significant tree stands and outlines requirements related to tree protection and replacement during the development application stage as well as overall tree management for new development sites. In 2014, Township Council adopted the Interim Tree Clear-Cutting Bylaw 2014 No. 5080 to regulate tree clear-cutting in the Brookwood-Fernridge area on an interim basis.

The policies outlined below are intended to protect the character and health of the Brookwood-Fernridge community as it grows and continues to develop over time. Neighbourhood plans may develop more detailed tree protection policies.

Policies:

1. Identify significant tree stands as part of more detailed neighbourhood planning processes and consider different strategies (e.g. cluster development and amenity charges) to preserve these stands.
2. Encourage cluster development in residential land use areas where significant tree stands exist to encourage retention of trees and open space. Through neighbourhood planning processes, consider incentives for new developments to adopt a clustered form of development.
3. Incorporate provisions to retain existing significant and mature trees where possible in landscape design of road boulevards, greenways and parks. Consider modified road and greenway standards to retain trees where appropriate.
4. Support development projects which include significant and mature tree preservation.
5. Encourage new developments to replace more trees than required by Subdivision and Development Servicing Bylaw 2011 No. 4861, as amended.
6. Include significant and mature trees in Agricultural Land Reserve edge planning and landscaping buffers.
7. Provide continuous planting of street trees along both sides of public streets and, where feasible, within centre medians.
8. Consider replacing Interim Tree Clear-Cutting Bylaw 2014 No. 5080 with a new tree clear-cutting bylaw to prevent clear-cutting in advance of development on a permanent basis.



6.4 URBAN WILDLIFE HABITAT

The Wildlife Habitat Conservation Strategy, adopted by Township Council in 2008, ensures that wildlife habitat planning and management are integrated into the land use planning process. Following the Strategy, the Urban Wildlife Habitat policies highlight the necessity of community planning processes to use habitat mapping as a tool to identify habitat patches and opportunities for potential habitat corridors.

Policies:

1. Integrate protection, restoration, and maintenance of wildlife habitat with other Township plans, policies, and programs.
2. Protect wildlife habitat found on private lands. Measures to consider include land covenants, eco-gifts, land stewardship, education, direct purchase, and incentives.
3. Maintain and enhance connectivity and reduce fragmentation of wildlife habitat. Strategies include:
 - a. wildlife tunnels
 - b. habitat patches and corridors
 - c. greenways

Conceptual patches and corridors are shown on the Environment Map (Map 4) and may be further reviewed and refined as part of a neighbourhood plan.

4. Enhance wildlife habitat within the urban forest and urban landscape. Considerations should include:
 - a. appropriate choice of native plant species, location, and density of plantings
 - b. permeable paving and land cover
 - c. minimization of hard landscapes, where appropriate
5. Ensure design of existing and new habitat corridors, including greenways, to minimize disturbance of and danger to wildlife that may use the corridors. Corridor design shall consider the following:
 - a. implementing contiguous pathways
 - b. locating corridors away from roads and property lines, where possible
 - c. reducing interaction between pedestrians and wildlife habitat, where feasible
6. Ensure lighting designs for developments in order to minimize negative impacts on wildlife and nocturnal activities of local wildlife.
7. Enhance safety and decrease disruption of wildlife during clearing and construction activity.

6.5 ENERGY AND GREENHOUSE GAS EMISSIONS

The Township's Official Community Plan (OCP) provides several policy objectives to advance the use of alternative energy sources and promote innovative methods for energy conservation and greenhouse gas reduction.

Policies:

1. Prioritize energy conservation in rezoning and development permit approvals by:
 - a. encouraging applicants to incorporate green building design and technologies to achieve decreased energy demand and enhanced energy performance in new residential, commercial, industrial, and institutional buildings
 - b. encouraging applicants to identify energy conservation opportunities in their project plans
 - c. encouraging energy labelling and disclosure of anticipated energy performance for new homes and buildings
2. Apply Development Permit Area D – Energy and Water Conservation and Reduction of Greenhouse Gas Emissions.
3. Promote the development of alternative energy ready buildings that would allow homeowners to transition to more sustainable forms of energy when it is economically feasible.
4. Integrate support for electric vehicle charging infrastructure.
5. Support the use of non-motorized modes of transportation and the use of public transit.



7. MOBILITY AND TRANSPORTATION

Transportation plays a critical role in the liveability and quality of the community's environment. Following the Township of Langley Official Community Plan (OCP), the Brookwood-Fernridge Community Plan policies aim to facilitate a more balanced modal split within the community by encouraging walking, cycling, and transit use. Denser commercial and residential development within defined Community and Neighbourhood Centres will accommodate the increase in transportation options available.

7.1 ROADS AND CIRCULATION

The road network for the Brookwood-Fernridge community is shown on the Road Network Map (Map 5). Map 5 illustrates arterial, collector, and existing local roads. The following policies aim to improve the safety of all road users, minimize the impacts on local neighbourhoods, and enhance the existing road network.

Policies:

1. Provide a fine-grained, multi-modal road network that accommodates walking, cycling, vehicles, transit, and goods movement. Preferred block lengths may be considered through a neighbourhood plan.
2. Enhance overall circulation and safety through identifying locations for traffic calming in neighbourhood plans, both in developed and developing areas of the community.
3. Prevent the development of new cul-de-sacs that restrict the movement and circulation of pedestrians, cyclists, and vehicles. If site development necessitates the use of cul-de-sacs, then integrate pedestrian and cycling connections in place of a through street.
4. Support car-sharing programs, where appropriate, by:
 - a. encouraging facilities for car-share vehicles in secure locations
 - b. considering parking requirements for developments that provide car-share vehicles
5. Ensure emergency vehicle access throughout the public road network.

7.2 PEDESTRIAN AND CYCLIST NETWORKS

The transportation network laid out within this plan aims to provide safe and convenient pedestrian access to schools, parks and commercial facilities. There has been a noticeable increase in residents of the Township using bicycles to travel over the past decade. The cycling concepts in the Cycling Network Map (Map 6) identify major networks for future development including commuter and recreational routes predominately along major arterial roadways.



Policies:

1. Implement safe and effective pedestrian street crossings at frequent block intervals to promote walking and cycling. Mid-block crossings shall be provided as necessary.
2. Incorporate bicycle use in road designs (e.g. integrated, separated, or shared-use bike lanes and paved shoulders) as shown on Map 6.
3. Promote pedestrian and cyclist connectivity between and within residential neighbourhoods. Incorporate public connections and access through larger multi-family development sites.
4. Upgrade existing pedestrian and cycling infrastructure in coordination with road improvement project opportunities, when feasible. Pedestrian and cycling infrastructure may include sidewalks, crosswalks, bike lanes, and landscape features.
5. Consider a variety of funding sources to enhance pedestrian and cycling infrastructure in developed areas of the community.

6. Integrate high quality pedestrian environments, cycling routes, and end-of-trip facilities into the design of new commercial, multi-family residential, and institutional developments, where possible. End-of-trip facilities may include secure and weather protected bike parking, bike maintenance stations, and change and shower facilities.
7. Provide accessible sidewalks on both sides of all roads.
8. Encourage separate off-road trails for pedestrians and cyclists.
9. Provide alternative access to community focal points such as schools, parks, and commercial facilities.
10. Provide bike racks to protect parked bicycles from vandalism and theft.

7.3 PUBLIC TRANSIT

TransLink provides bus service through Brookwood-Fernridge. To encourage public transit use in the community, the Land Use Plan (Map 2) incorporates centres and the denser forms of housing along established transit routes, particularly 200 Street.

Policies:

1. Continue to monitor transit services in coordination with TransLink.
2. Encourage public transit service expansion and more frequent service as the community grows.
3. Implement weather protected and accessible public transit stops.
4. Promote universal access at all transit stops.
5. Explore 200 Street as a frequent transit corridor over time.

7.4 PARKING MANAGEMENT

Parking management policies are intended to ensure sufficient on- and off-street parking supply. On-street parking is permitted on both sides of collector roads and local roads in Brookwood-Fernridge. Off-street parking requirements differ by land use and is provided in accordance with Township of Langley Zoning Bylaw 1987 No. 2500, as amended.

Policies:

The following policies apply to on-street parking:

1. Accommodate on-street parking on both sides of all local and collector roads.
2. Restrict the amount of parking permitted on arterial roads and near Commercial Villages to encourage other modes of transportation and avoid traffic congestion.
3. Require single family developments to have enough space for one vehicle to park on-street in front of each lot.

The following policies apply to off-street parking:

4. Provide additional off-street parking where on-street parking is constrained (e.g. where development fronts arterial roads).
5. Accommodate larger vehicles (e.g. trucks and SUVs) in underground parking facilities and ground level parking spaces.



8. UTILITIES AND SERVICES

Sustainable urban development within the undeveloped areas of Brookwood-Fernridge is contingent on securing sufficient municipal sewer and water services and stormwater infiltration infrastructure. Additionally, as the population increases, greater emergency and protective services will be required to ensure the safety and security of the community. The intent of Utilities and Services policies is to effectively integrate stormwater infiltration systems into the built environment and adequately provide municipal utilities and services for a growing community in consideration of the natural environment.

8.1 STORMWATER MANAGEMENT

Rainfall in the Brookwood-Fernridge Community Plan area has a direct impact on groundwater levels, pond and creek water levels, drinking water via wells and aquifers, as well as fisheries and riparian habitat. The community's stormwater management systems are intended to imitate the natural hydrologic cycle by infiltrating small events and detaining larger events.

The surface soils in the area have high permeability rates that support the infiltration of runoff at its source. However, high permeability of the soil presents a high risk of aquifer contamination

by urban pollutants. Safe and reliable protection measures need to be implemented into the infiltration facilities.

The Anderson Creek and Fernridge ISMPs include stormwater management recommendations, which are implemented through Subdivision and Development Servicing Bylaw 2011 No. 4861, as amended. The following policies reinforce the recommendations of the ISMPs.

Policies:

1. Provide constructed infrastructure that convey a 100-year storm event or provide a safe overland route as per the Subdivision and Development Servicing Bylaw 2011 No. 4861, as amended, as conceptually shown on the Stormwater Management Concept Map (Map 7).
2. Provide detention facilities at critical locations to control the release of post development flow rates to meet pre-development flow rates as conceptually shown on Map 7. The need for any additional detention facilities will be considered as part of a neighbourhood planning process.
3. Integrate stormwater management as a component of parks and open space design. Source control and infiltration techniques may include:
 - a. absorbent landscapes
 - b. raingardens
 - c. underground storage and release infrastructure
 - d. bioswales and infiltration galleries
4. Incorporate low impact development strategies in stormwater management designs.
5. Encourage the infiltration of clean stormwater, including run-off roof areas.
6. Promote the use of permeable concrete and pavers for private on-lot driveways and laneways in residential areas.
7. Implement source control best management practices (BMPs) for stormwater management facilities in new developments with a focus on infiltration and water quality. These may include some or all of the following items:
 - a. utilize on-lot infiltration systems to capture the 2-year, 24 hour storm event
 - b. direct road drainage to grassy swales and boulevards for treatment and infiltration with an overflow directed to a storm sewer, where possible
 - c. ensure all pervious areas have a minimum of 400mm of pervious material (e.g. enhanced topsoil) where new multi-family and mixed use areas are developed
 - d. retain vegetation including trees where possible to maintain canopy coverage
 - e. incorporate specific infiltration strategies including: catch basins directed to infiltration trenches and gardens (dependent on guaranteed funding for maintenance)

8.2 WATER AND SEWER

Water quality, groundwater levels of the Brookwood Aquifer, and capacity limitations at the Brookwood Pump Station are primary concerns for the water supply system in Brookwood-Fernridge. A large part of the community is a less developed residential area consisting of large properties without any municipal water service nor municipal sanitary sewer collection service.

These properties rely on private wells and septic sewer systems. Elevated nitrate levels in groundwater, as a result of septic systems and agricultural activities, is a major concern and highlighted in the Water Management Plan (WMP). Maintaining and improving the quality of infiltrated surface water for aquifer recharge is of high priority.

Policies:

1. Provide municipal water and sanitary sewer services for all new developments as conceptually shown on the Municipal Water Concept and Sanitary Concept Maps (Maps 8 and 9 respectively).
2. Optimize the existing servicing systems through appropriate phasing of development.
3. Ensure new sanitary services have sufficient capacity to service developed areas that do not currently have municipal sewer services.
4. Restrict land uses with a high-risk of groundwater contamination (e.g. vehicle servicing, repair, washing, sales or fuel dispensing facilities, and drycleaners) over the well capture zones.
5. Encourage wastewater servicing connections to the existing systems for new and existing developments.
6. Encourage water conservation measures in new and existing developments to curb demand and overuse of water through:
 - a. conservation measures
 - b. sustainable building design
 - c. infrastructure design
7. Provide public awareness and education about drinking water sources and possible contamination and sustainable water management practices to protect groundwater supplies.
8. Continue to encourage and raise awareness about low flow technologies and water conservation.
9. Implement water restrictions as necessitated by the provisions of Water Shortage Response Bylaw 2012 No. 4909, as amended.

8.3 EMERGENCY AND PROTECTIVE SERVICES

As the community develops, there will be a greater need for emergency and protective services. The following Emergency and Protective Services policies apply to police, health, and fire services, and these policies are intended to facilitate efficient responses to emergencies.

Policies:

1. Continue to coordinate with adjacent municipalities to ensure that any response to a disaster or emergency is both fluid in coordination and communication.
2. Maintain emergency infrastructure (e.g. hydrants and fire lanes) on all applicable roadways.
3. Continue to review emergency and protective services needs in the community on an annual basis.



9. IMPLEMENTATION

The Brookwood-Fernridge Community Plan provides an overall framework to guide growth and change in the community. Future neighbourhood plans, which will apply to portions of the Community Plan area, will comprise more detailed policies and guidelines. Neighbourhood plans not only provide an opportunity for more detailed planning, but also allow development to proceed in phases. The Implementation section includes phasing and other policies to promote orderly and fiscally-responsible growth.

9.1 PHASING

Growth and change in Brookwood-Fernridge should proceed in phases based on neighbourhood plan areas. The neighbourhood plan areas, which are shown on Map 10, were based primarily on school enrollment projections and servicing considerations.

Policies:

1. Prior to the adoption of a rezoning bylaw in the Brookwood-Fernridge Community Plan area, a neighbourhood plan for the area shall be prepared and adopted by Council. Neighbourhood plan area boundaries shall be generally consistent with the boundaries shown on Map 10.

2. The initiation of a neighbourhood plan should conform with Neighbourhood Plans – Initiation and Process Policy No. 07-221. Properties within a neighbourhood plan area that do not have any opportunity for a rezoning under the Community Plan (e.g. existing parks and designated manufactured home parks) may be omitted from an expression of interest submitted by land owners.
3. Each neighbourhood plan shall include:
 - a. more detailed policies regarding land use, community character, open space and community amenities, environment, mobility and transportation, and utilities and services
 - b. more detailed implementation policies, including strategies to secure school sites, park sites, and stormwater detention facilities, as well as strategies to fund community amenities
4. Further to the neighbourhood plan preparation process outlined under Neighbourhood Plans – Initiation and Process Policy No. 07-221, each neighbourhood plan process shall incorporate environmental network planning for the purposes of identifying priorities, restoration and enhancement of a network of important environmental and natural assets that support biodiversity. An updated mapping inventory of environmental features and ecological assets shall be completed, including vegetation types and structures, watercourses and associated classifications, and the spatial relationships between these features in the landscape and their role in ecosystem processes.
5. Policy #1 does not apply to lands within the Community Plan area that are not located in a neighbourhood plan area shown on Map 10.
6. Despite Policy #1 of this subsection, should Council elect to adopt a rezoning bylaw before the adoption of a neighbourhood plan, applicants shall provide a more detailed plan that considers the items outlined under Policies #3 and #4 above.
7. Growth and change in Brookwood-Fernridge should proceed with priority given to development proposals in Booth and Rinn neighbourhoods that interface with the existing developed area of Brookwood.

9.2 REZONINGS

Most new developments in Brookwood-Fernridge will be managed and regulated through rezoning applications initiated by landowners. The policies below apply to such rezoning applications (in addition to the other policies in this Plan).

Policies:

1. New developments should meet the following lot consolidation conditions:
 - a. any residual lots shall be left in a configuration and lot area which are suitable and feasible for a future development proposal or can be consolidated with other abutting residual lots
 - b. abutting lots shall not be isolated or left in a condition which is unsuitable or unfeasible for development or unsuitable for the maintenance of the existing land use
2. Any redevelopment of a manufactured home park shall comply with Manufactured Home Parks – Redevelopment Policy No. 07-121 and is encouraged to take place in phases to reduce the displacement of tenants.

3. New developments may be required to resolve various development prerequisites prior to the adoption of a rezoning bylaw.
4. This Community Plan represents a long-term policy. Some zoning designations may not reflect the long-term designations set out in this Community Plan. Without limiting the foregoing, complete rezoning applications received on or before October 23, 2017 may be considered in accordance with the Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Brookwood/Fernridge Community Plan) Bylaw 1987 No. 2475 (as it was at the time of application).

9.3 FINANCING

Development should pay for as much of the costs of growth as possible. New developments will be required to provide works and services (e.g. new streets, sidewalks and utility infrastructure) and help pay the costs of providing other amenities and services.

Policies:

1. New developments shall provide works and services at the time of development in accordance with Subdivision and Development Servicing Bylaw 2011 No. 4861, as amended.
2. New developments shall pay Development Cost Charges (DCCs), Neighbourhood Park Land Acquisition Charges, and School Site Acquisition Charges (as applicable), as well as any other applicable charges and fees.
3. Each neighbourhood plan shall consider the need for community/neighbourhood amenity charges to cover the costs of amenities not captured by existing charges.
4. Update the Development Cost Charges Bylaw on a regular basis and ensure that it reflects an accurate cost of providing required infrastructure.

9.4 COMMUNITY PLAN AMENDMENTS

A key principle for the Brookwood-Fernridge Community Plan is to achieve a livable and sustainable complete community. The concept of adaptation is innate to sustainability and is an important cornerstone in the preparation of the Plan. The land use pattern and associated policies in this Plan should not unduly compromise the ability to accommodate future changes and land uses as needs demand different responses over time.

Policies:

1. Ensure that any proposed amendments to the Community Plan include a public consultation process pursuant to Developer Held Public Information Meetings Policy No. 07-164 (as applicable).
2. Consider any potential amendments to the Community Plan in light of the Vision statement and Guiding Principles.



10. DEVELOPMENT PERMIT AREAS

Under the Provincial *Local Government Act (LGA)*, municipalities may designate Development Permit Areas (DPAs) where special conditions or objectives apply. DPAs must specify guidelines respecting how the special conditions or objectives will be addressed. As outlined in this section, certain activities cannot proceed unless the owner first obtains a development permit.

The DPAs specific to Brookwood-Fernridge are summarized in Table 10.1 and are shown on the Development Permit Areas Map (Map 11). In addition to these DPAs, the Township's Official Community Plan (OCP) includes a DPA for streamside protection and enhancement that applies to Brookwood-Fernridge.

Table 10.1: Development Permit Areas in Brookwood-Fernridge

DPA	TYPE	LGA SECTION [RSBC 2015]
A	RESIDENTIAL	488.1(f)
B	COMMERCIAL AND MIXED USE	488.1(f)
C	PROTECTION OF FARMING	488.1(c)
D	ENERGY AND WATER CONSERVATION AND REDUCTION OF GREENHOUSE GAS EMISSIONS	488.1(h), (i) & (j)

10.1 DEVELOPMENT PERMIT AREA A - RESIDENTIAL

Lands identified as Development Permit Area A – Residential on Map 11 are designated as a Development Permit Area (DPA) under section 488.1(f) of the *Local Government Act (LGA)* to establish objectives and guidelines for the form and character of multi-family development, including semi-detached dwellings, duplexes, rowhouses, townhouses, and apartments. The construction of, addition to, or alteration of a building or structure must not be initiated unless the owner first obtains a development permit or is exempted under Section 10.1.2.

10.1.1 JUSTIFICATION AND INTENT

The establishment of Development Permit Area A ensures that new multi-family residential developments in Brookwood-Fernridge are visually attractive and in keeping with the character of the community.

The intent of Development Permit Area A is as follows:

- Ensure safe and attractive multi-family developments.
- Where possible, ensure the integration of existing significant trees into the site design.
- Ensure building forms are appropriately scaled and respect adjacent land uses.
- Ensure building character reflects the small town community context and contributes to a pedestrian-friendly streetscape.

10.1.2 EXEMPTIONS

The following activities do not require a development permit in Development Permit Area A:

- a subdivision as defined in the LGA
- an internal renovation that does not result in any change to the external appearance of the building
- site improvements such as landscaping, paving, and access paths, provided the improvements are compatible with the Development Permit Area Guidelines
- replacement of an existing sign, provided the work is consistent with an existing development permit or compatible with the Development Permit Area Guidelines
- façade alterations that do not front a public street, lane, walkway, park or trail, provided that such alterations are compatible with the Development Permit Area Guidelines
- building additions less than 50 m² in floor area that do not front a public street, lane, walkway, park or trail, provided that such alterations are compatible with the Development Permit Area Guidelines

For clarity, a development permit for form and character is not required for the construction of, addition to, or alteration of a single family dwelling.

10.1.3 GUIDELINES

The following guidelines, as well as those set out in Section 10.3 below, apply to all development within Development Permit Area A:

Key Guidelines:

1. Existing significant trees, especially coniferous trees, shall be retained to the greatest extent possible to preserve the community's character. Consider, for example, residential cluster developments which group buildings on a smaller portion of the site and design outdoor areas to maximize tree retention.
2. High quality design shall be incorporated for new developments and employ an architectural approach that is harmonious with the community context (e.g. low scale, pedestrian-friendly buildings).



Low scale, pedestrian-friendly design

3. Developments shall be designed to have a cohesive appearance yet provide enough variety to avoid a monotonous appearance when the development is viewed as a whole.
4. Adjacent developments shall be complemented by new developments in terms of siting, form, and character, but individual architectural expression is encouraged both within and between street blocks.
5. All visible building elevations shall provide architectural interest, especially those that are visible from public streets, lanes, walkways, parks, and trails. Consider, for example, building designs that incorporate material and colour variation, fenestration, projections and recesses, varied roof forms, and architectural detailing.
6. A strong street presence shall be provided through street facing buildings that include elements such as ground floor units with direct pedestrian street access, pronounced entries, patios, and, where applicable, extended upper storey balconies.
7. Developments located at key intersections and gateways, such as along 200 Street, shall be designed as landmark buildings through massing, other architectural elements and detailing, and/or open space.

Site Design:

8. Buildings should face public streets, parks, walkways, and private common spaces. Developments should not be gated or be turned away from the public realm.
9. Ground level habitable space is encouraged adjacent to public streets, parks, and walkways.
10. Individual entrances accessible from the street should be provided for all ground floor units.
11. Buildings should have a minimum front lot line setback on the ground floor of 3.5 metres and a maximum front yard setback of six (6) metres to create a semi-private entry or transition zone to individual units and to allow for an elevated entryway and/or front porch. All entries should be clearly identifiable.
12. Ground level areas created by setbacks shall be designed as private outdoor spaces. Private outdoor spaces fronting public streets should provide a sense of separation while contributing to the streetscape.
13. New developments should be sited to maximize the privacy of adjacent private outdoor spaces.

14. New developments shall ensure that the siting and form of buildings do not block significant views and solar access from existing or anticipated developments and that shadowing impacts on adjacent residential buildings, roads, and usable open spaces are minimized.
15. Direct access to a usable private outdoor space should be incorporated for each dwelling unit such as a yard, patio, balcony, or roof top terrace. Balconies should be covered to ensure comfort and usability.

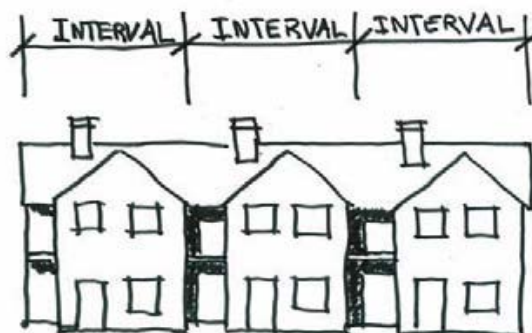


Private outdoor space created by setback

16. Where there are multiple buildings on a site, buildings should be located to frame outdoor common areas and other landscaped spaces. Consider placing taller buildings at the interior of the site and shorter buildings adjacent to the public street.

Building Design:

17. Individual buildings should express a unified architectural concept that incorporates both variation and consistency in façade treatments by articulating building façades into a series of intervals. This can be achieved by:



- a. façade modulation (stepping back or extending forward a portion of the façade to create a series of intervals or breaks in the façade)
- b. repeating window patterns at intervals that correspond to extensions and step-backs
- c. providing a porch, patio, deck, or covered entry for each interval
- d. providing a balcony or bay window for each interval
- e. changing the roof line by alternating dormers, gables, or other roof elements to reinforce the modulation or articulation interval
- f. varying colours and/or materials



Variation and consistency is achieved by breaking the facades into a series of intervals

18. Entrances should be located and designed to create building identity, distinguish between individual ground floor units, and animate the streetscape. Entrances shall be clearly identified by both the architectural and landscape treatment (e.g. porticos, porches, overhangs, and pathways).

19. Building façades shall be designed so that windows and doors are prominent features that address the streets they front and reinforce pedestrian scale. Windows in upper storeys should be vertically-oriented, organized into repetitive groups in relationship to the vertical elements which frame and divide the façade, and incorporate substantial trim and moldings.
20. Balconies should be designed as integral parts of buildings. Use glazed or narrow metal spindle guardrails to maximize daylight penetration into dwellings.
21. Glass elements incorporated into weather protection should be frosted, or provided with other translucent finish, to maintain acceptable appearance between maintenance cycles.

Signage and Lighting:

22. Signage and exterior lighting shall be consistent with the design of the overall development.
23. Project signage should be modest in scale.
24. Sufficient lighting should be provided for all paths and entry areas to ensure pedestrian comfort and security, consistent with Exterior Lighting Impact Policy No. 07-156.
25. Appropriate lighting is encouraged adjacent to walkways, visitor parking spaces, and other outdoor common areas.

Access, Circulation and Parking:

26. Pathways shall be incorporated into the development to promote pedestrian and cyclist activity within the site, provide connections to the public street and trail network, and ensure convenient access to and from adjacent commercial and institutional uses. For security, pathways should allow overview from adjacent dwellings.
27. At least one pedestrian connection shall be provided from each development site to adjacent public streets, walkways, parks, and trails. Public and private space shall be clearly delineated.
28. Pedestrian street access to ground floor residential units is strongly encouraged in order to reinforce pedestrian activity and street life.
29. Access and egress points shall have consistent texture, colour, and material for that portion intersecting with the public street.
30. Vehicular access and egress points should not be permitted on arterial roads and should be consolidated or minimized, particularly over street greenways.
31. Surface parking should be placed away from public view and not between the public street and the building. Design and landscape resident surface parking so it does not detract from rear yard amenity space.
32. Visitor surface parking should be provided for in a number of smaller dispersed areas rather than one large area. In situations where the placement of visitor parking adjacent to a public street, walkway or trail is unavoidable, provide a landscape screen (e.g. low shrubs, trees,



Street access to ground floor unit

and decorative fences). Provide breaks in the landscape screen to connect the sidewalk to walkways on the site.

33. Visitor parking should be clearly identified through labelling and signage.

Accessibility and Safety:

34. Site design and landscaping shall take into account established principles of Crime Prevention Through Environmental Design (CPTED) including:

- a. opportunities for surveillance of streets, walkways, trails, parks, and amenity areas through the placement of windows, balconies, and ground-level uses
- b. appropriate hard and soft landscape elements, including transparent fencing, where appropriate
- c. adequate lighting along streets and at entrances
- d. delineated private spaces that are clearly separated by fences, landscaping, or paving, visible by residents, and adequately lit

Mechanical Equipment and Servicing Areas:

35. Mailbox kiosks located within a stratified development shall be protected from the weather, architecturally integrated into the development, and located adjacent to a visitor parking space near the project's entrance.

36. Outdoor refuse, recycling and organic waste areas and other storage areas shall be placed away from public view, where required, and screened with an enclosure that is consistent with the overall architectural and landscape treatment of the development.

Landscaping:

37. Landscaping shall be required to enhance the appearance of the development. All portions of the development not occupied by a building, structure, parking area, servicing area, or storage area shall be landscaped appropriately. Consistent with Township of Langley Zoning Bylaw 1987 No. 2500, as amended, developments shall provide a two (2) metre wide landscape area around the perimeter of the site.

38. The distinction between public and private space shall be defined with appropriate fencing, entry features (e.g. gates and arbours), and plant material. The use of perimeter berms, high fences, and security gates is not permitted.

39. A five (5) metre wide landscape area and a fence shall be provided on developments abutting properties designated for non-residential development (other than municipal greenspace). Fences should be aesthetically designed and reflect adjacent residential building character where applicable.



Fencing, entry features, and planting provide a distinction between public and private space

40. Vehicular access and egress points shall be landscaped (not gated) to define the boundary between the private and public areas.

Ground-Oriented Multi-Family Buildings:

In addition to guidelines 1 to 40 above, these guidelines apply to duplexes, semi-detached dwellings, rowhouses, and townhouses.

41. Individual or paired units shall be visually differentiated from other adjoining units (e.g. staggering in plan, varying rooflines, variation in colour and material, and architectural detailing).
42. Developments which include multiple buildings shall include variation in exterior design beyond material and colour variation.
43. Street facing three (3) storey buildings shall have a maximum length of 30 metres. Non-street facing three (3) storey buildings and all buildings less than three (3) storeys shall have a maximum length of 40 metres in length.
44. Three (3) storey buildings are encouraged to integrate the upper storey into the framing of the main roof using dormer extensions and/or stepping the upper storey back from the storey below.
45. Townhouse development buildings should be setback from one another by at least nine (9) metres across strata roads and key pathways, particularly those that are publicly accessible.
46. Rear yards of townhouse developments should have a minimum depth of 4.5 metres.
47. Garage entrances should have less prominence than pedestrian entrances. Townhouse developments should have a separate pedestrian entrance to the dwelling unit or garage from the strata road.
48. Side-by-side parking (rather than tandem parking) is preferred, and off-setting garages are encouraged.

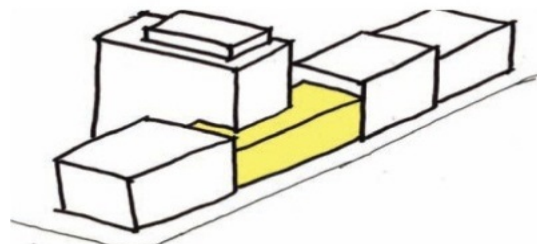


Individual units are differentiated from adjoining units

Apartment Buildings:

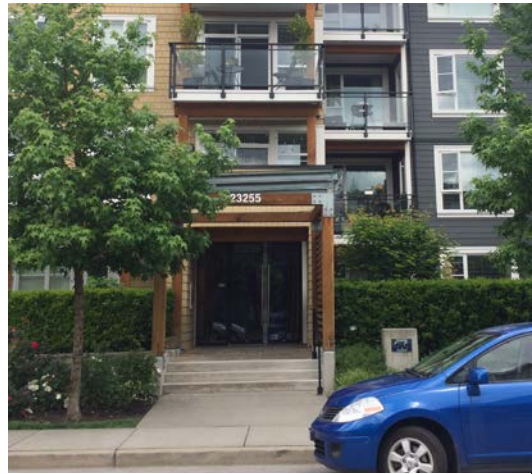
In addition to guidelines 1 to 40 above, these guidelines apply to apartments.

49. Building heights should be stepped or terraced to relate to adjacent buildings.
50. Street facing buildings shall have a maximum length of 60 metres and non-street facing buildings shall have a maximum length of 90 metres. This could be achieved by incorporating a substantial setback such as a courtyard or framed periodic openings to provide public views into private open space features.
51. Buildings over three (3) storeys in height should step the fourth storey back by a minimum of 1.5 metres from the storey below.



Building height is stepped in relation to adjacent buildings

52. Roof top patios and common spaces are encouraged, particularly where at-grade space is limited.
53. Main building entries (e.g. lobbies) shall be clearly visible and accessible from the public street.
54. The main entrance of the building shall be clearly identified by the architecture of the building and include elements such as canopies and building overhangs to provide protection from the weather.
55. Building façades near main entries shall be illuminated to help create a sense of safety.
56. At-grade drop-off and loading areas should be provided near a building entrance, where possible.
57. Resident parking should be provided underground or within the building structure. Minimize any above-grade projection of parking structures and associated mechanical equipment, particularly as viewed from the public realm.
58. Underground and structured parking areas should be planned for the convenience and safety of all users, including pedestrians and cyclists. Walls and ceilings should be finished in a light coloured paint for reflectivity and should incorporate motion-activated lighting to the greatest extent permitted. Underground and structured parking areas shall be designed with CPTED principles.
59. Access to underground or structured parking areas should be from a lane or internal driveway. Any vehicular entrance and its associated components (e.g. doorways and ramps) should be architecturally integrated into the building to minimize its exposure. Consider:
 - a. recessing the portion of the façade where the entry is located to help conceal it
 - b. extending portions of the structure over the garage entry to help conceal it
 - c. emphasizing other elements of the façade to reduce the visual prominence of the garage entry
 - d. use of screening and landscaping to soften the appearance of the garage entry, including green walls and green screens
60. Refuse, recycling and organics waste areas shall be incorporated into the design of the underground or structured parking area. Parking areas shall have adequate on-site space for the movement of trucks and waste removal vehicles.
61. Adequate and secured longer term bicycle storage areas and general use storage areas shall be provided in a separate room or enclosed area as part of a parking structure and should be located close to elevators and access points.



Main entrance clearly visible from the street

10.2 DEVELOPMENT PERMIT AREA B – COMMERCIAL AND MIXED USE

Lands identified as Development Permit Area B – Commercial and Mixed Use on Map 11 are designated as a Development Permit Area (DPA) under section 488.1(f) of the *Local Government Act (LGA)* to establish objectives and guidelines for the form and character of commercial and mixed use development. The construction of, addition to, or alteration of a building or structure must not be started unless the owner first obtains a development permit or is exempted under Section 10.2.2.

10.2.1 JUSTIFICATION AND INTENT

The establishment of Development Permit Area B ensures that new commercial and mixed use developments in Brookwood-Fernridge are visually attractive and in keeping with the character of the community.

The intent of Development Permit Area B is as follows:

- Ensure safe and attractive commercial and mixed use developments.
- Ensure the integration of existing significant trees into the site design.
- Ensure building forms are appropriately scaled and respect adjacent land uses.
- Ensure building character reflects the small town community context and contributes to a pedestrian-friendly streetscape.

10.2.2 EXEMPTIONS

The following activities do not require a development permit in Development Permit Area B:

- a subdivision as defined in the LGA
- an internal renovation that does not result in any change to the external appearance of the building
- site improvements such as landscaping, paving, and access paths, provided the improvements are compatible with the Development Permit Area Guidelines
- replacement of an existing sign, provided the work is consistent with an existing Development Permit or compatible with the Development Permit Area Guidelines
- façade alterations that do not front a public street, lane, walkway, park, or trail, provided the alterations are compatible with the Development Permit Area Guidelines
- building additions less than 50 m² in floor area that do not front a public street, lane, walkway, park, or trail, provided such alterations are compatible with the Development Permit Area Guidelines

10.2.3 GUIDELINES

The following guidelines, as well as those set out in Section 10.3 below, apply to all development within Development Permit Area B:

Key Guidelines:

1. Existing significant trees, especially coniferous trees, shall be retained to the greatest extent possible to preserve the community's character. Consider, for example, developments which group buildings on a smaller portion of the site and design outdoor areas to maximize tree retention.
2. High quality design shall be incorporated for new developments and employ an architectural approach that is harmonious with the community context (e.g. low scale, pedestrian-friendly buildings).
3. Developments shall provide enough variety to avoid a monotonous appearance when the development is viewed as a whole yet be designed to have a cohesive appearance. The form and character of buildings and the design of other site elements (e.g. signage, lighting, and site furnishings) should fashion a unified visual language that creates a unique identity for each commercial village.
4. Adjacent developments should be complemented by new developments in terms of siting, form, and character, but individual architectural expression is encouraged both within and between street blocks.
5. All visible building elevations should provide architectural interest, especially those that are visible from public streets, lanes, walkways, parks, and trails. Consider, for example, building designs that incorporate material and colour variation, fenestration, projections and recesses, varied roof forms, and architectural detailing.
6. A strong street presence shall be provided through street facing buildings that include elements such as ground floor units with direct pedestrian street access, pronounced entries, weather protection, patios, and, where applicable, extended upper storey balconies.
7. Developments located at key intersections and gateways, such as along 200 Street, shall be designed as landmark buildings through massing, other architectural elements and detailing, and/or open space.

Site Design:

8. Ground floor commercial units shall be built to the front property line to maintain a continuous street frontage and street definition. A small setback may be considered to accommodate weather protection and upper storey balconies that do not encroach over the property line. A small setback may also be considered where there is a courtyard or other feature that benefits the pedestrian experience or responds to the building setback of an adjacent property.



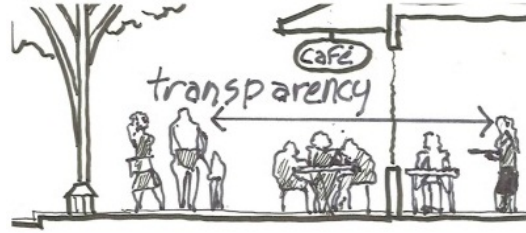
Frequent and recessed entrances along the public street

9. Primary and frequent entrances into commercial units should be incorporated along the public street. A maximum spacing dimension of 10 metres along commercial streets is preferred.
10. Entrances should be recessed from the property line by a minimum of 0.6 metre in order to provide for door swings.
11. Larger commercial units (e.g. grocery stores and pharmacies) should strive to incorporate frequent entrances, transparent shop front windows, and/or incorporate smaller shops wrapped around its edges.
12. Commercial units should have a minimum depth of 10 metres.
13. New developments should be sited to maximize the privacy of adjacent private outdoor spaces.
14. Roof top patios and amenity spaces are encouraged, particularly where at-grade outdoor space is limited.

Building Design:

15. Individual buildings should express a unified architectural concept that incorporates both variation and consistency in façade treatments by articulating building façades into a series of intervals. This can be achieved by:
 - a. façade modulation (stepping back or extending forward a portion of the façade to create a series of intervals or breaks in the façade)
 - b. repeating window patterns at intervals that correspond to extensions and step-backs
 - c. providing a covered entry for each interval
 - d. changing the roof line by alternating dormers, gables, or other roof elements to reinforce the modulation or articulation interval
 - e. varying colours and/or materials
16. Buildings should be designed to reflect their internal function and use.
17. Building heights should be stepped or terraced to relate to adjacent buildings.
18. A minimum two (2) storey street-wall is encouraged throughout commercial villages.
19. Buildings over three (3) storeys in height should step the fourth storey back a minimum of 1.5 metres from the storey below.
20. Street facing buildings shall have a maximum length of 60 metres and non-street facing buildings shall have a maximum length of 90 metres. This could be achieved by incorporating a substantial setback such as a courtyard or framed periodic openings to provide public views into private open space features.
21. Entrances shall be located and designed to create building identity and to distinguish between individual commercial and/or residential entrances.
22. Entrances to lobbies should be clearly visible and accessible from the fronting street.
23. A dominant frontage rhythm along the street should be established through the use of vertical elements and a fenestration pattern (e.g. for shop entrances and windows) arranged into modules. A maximum length of 10 metres of commercial unit frontage is preferred along commercial streets.

24. Commercial storefronts should be continuous and transparent where the public and private realms meet. Good transparency occurs when interior uses are visible from and can even spill out onto the sidewalk or plaza and when public spaces are visible from the inside to allow for casual surveillance.



25. Storefronts should incorporate the following design elements and details:

- a. a high percentage of storefront glazing, transom windows, and clearly defined entry doors
- b. weather protection, lighting and signage
- c. a shop front cornice (e.g. a reduced version of the main cornice atop the building)



Glazing, weather protection, and shop front cornices on storefronts

26. Expansive blank walls (e.g. over five (5) metres in length) and retaining walls should be avoided adjacent to public streets, walkways, and trails. Where blank walls are unavoidable, they shall be mitigated using appropriate design treatments which can include, but are not limited to, the following:

- a. installing a vertical trellis in front of the wall with climbing vines or plant materials
- b. setting the wall back to provide room for evergreen and conifers to provide year round screening
- c. providing art (e.g. mosaics, murals, and reliefs) over a substantial portion of the wall surface
- d. employing quality materials and/or different texture and colours to make it visually interesting
- e. providing special lighting, a canopy, awning, horizontal trellis, or other pedestrian oriented features that break up the size of the blank wall's surface and add visual interest
- f. incorporating them into a patio or sidewalk café

27. The upper façades of buildings should:

- a. be ordered by the use of vertical elements such as pilasters, columns, projecting bays and balconies
- b. incorporate decorative roof lines and cornices to define the upper edge of the façade where the building steps back and at the top of the building

28. Windows in upper stories should be vertically-oriented, organized into repetitive groups in relationship to the vertical elements which frame and divide the façade, and incorporate substantial trim and moldings.

29. Pedestrian walking areas along commercial streets and plazas shall have continuous weather protection canopies, where possible. Enhanced weather protection is encouraged at the entrances of major buildings, adjacent to transit zones and street corners where people wait for traffic lights. Glass elements incorporated into weather protection should be frosted, or provided with other translucent finish, to maintain acceptable appearance between maintenance cycles. Weather protection should have a minimum height of 2.5 metres.

Signage and Lighting:

30. All signage and lighting is to be architecturally integrated with the building and coordinated to fashion a unified visual language and create a unique identity for each commercial village.
31. Signage should be limited in number, location, and size. Fascia signage should not exceed 0.9 metre in height.
32. Signage should be scaled to the pedestrian rather than the motorist. The following design options are preferred types of commercial signage:
- a. projecting two-dimensional or 'blade' type signs suspended from canopies and awnings
 - b. flush mounted fascia signs
 - c. individual cut-out or silhouette letter signs mounted on storefronts
33. All building signage shall be externally lit.
34. Freestanding signage is generally not encouraged. However, smaller, pedestrian-scaled monument signs that are coordinated with landscape elements are preferred over other types of freestanding signage.
35. Paths, sidewalks, entry areas, and parking areas shall be sufficiently lighted to ensure comfort and security. Illumination, however, should not detract from any adjacent residential uses.
36. Lamp standards and fixtures should contribute to a high aesthetic quality and, where applicable, comply with Exterior Lighting Impact Policy No. 07-156. Lighting on the exterior of the building (including the roof) shall be consistent with the entire building.
37. Light posts should have banner and hanging basket arms.
38. Building façades and features should be illuminated by providing architectural lighting on the face of commercial buildings and, where applicable, at residential lobbies to help create a sense of safe and intimate space around a building.



Externally lit building signage

Access, Circulation and Parking:

39. Walkways should be incorporated into the development to promote pedestrian and cyclist activities within the site, provide connections to the public street and trail network, and ensure convenient access to and from adjacent developments. Covered walkways are encouraged.

40. Pedestrian activity should be supported through outdoor seating, attractive landscaping, appropriately scaled parking lots, and public amenities.
41. Structured, underground, or tuck-under parking is preferred over surface parking.
42. Surface parking areas should be placed away from public view and not between the public sidewalk and the building. In situations where the placement of surface parking adjacent to a public street, walkway, or trail is unavoidable (e.g. at the side of a building), provide a landscape screen (e.g. low shrubs, trees, decorative fences, and other structural landscape elements). Provide breaks in the landscape screen to connect the sidewalk to walkways on the site and ensure safety through community surveillance.
43. Surface parking should be provided for in a number of smaller dispersed areas rather than one large area and should incorporate pedestrian pathways.
44. Vehicular access and egress points should be consolidated and minimized, particularly over street greenways. The interconnection of parking areas between adjacent developments is encouraged. Vehicular access from arterial roads is discouraged.
45. Access to underground or structured parking areas should be from a lane or internal driveway. Any vehicular entrance and its associated components (e.g. doorways and ramps) should be architecturally integrated into the building so as to minimize its exposure. Consider the following strategies:
 - a. recessing the portion of the façade where the entry is located to help conceal it
 - b. extending portions of the structure over the garage entry to help conceal it
 - c. emphasizing other elements of the façade to reduce the visual prominence of the garage entry
 - d. use of screening and landscaping to soften the appearance of the garage entry, including green walls and green screens
46. Loading areas should be located away from public view (e.g. public streets and trails) and adjacent residential units and screened with a combination of architectural or landscaping elements (e.g. shrubs, trees, and decorative fences).
47. Adequate and secured longer term bicycle storage areas shall be provided in a separate room or enclosed area (e.g. as part of a parking structure) and should be located close to elevators and/or access points. Shower and locker facilities for employees are encouraged.

Accessibility and Safety:

48. Site design and landscaping shall take into account established principles of Crime Prevention Through Environmental Design (CPTED) including:
 - a. opportunities for surveillance of streets, walkways, trails, parks and parking areas through the placement of windows, balconies and ground-level uses
 - b. appropriate hard and soft landscape elements
 - c. adequate lighting along streets, driveways, walkways and parking areas
49. Ornamental security grills are preferred in front of ground floor windows rather than non-ornamental grills.

Mechanical Equipment and Servicing Areas:

50. Refuse, recycling and organic waste containers, and other storage areas shall be fully enclosed within a building. Where required, outdoor waste and storage areas should be placed away from public view and screened with an enclosure that is architecturally consistent with the overall development and landscaping.

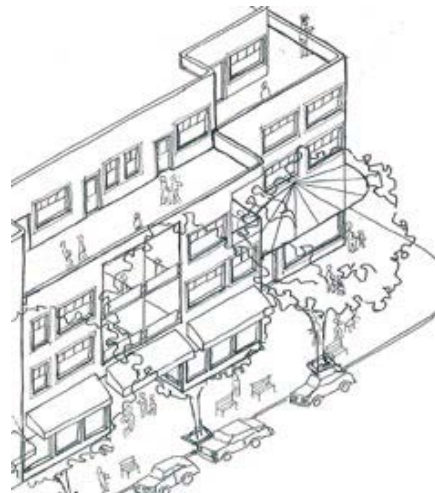
Landscaping:

51. Landscaping shall be required to enhance the appearance of the development and to screen parking areas, loading areas, and refuse containers. All portions of the development not occupied by a building, structure, parking area, servicing area, or storage area should be landscaped appropriately.
52. Tree gates should incorporate electrical outlets for seasonal lighting.
53. A five (5) metre wide landscape area and a fence shall be provided on developments abutting properties designated for residential development. Fences should be aesthetically designed and reflect adjacent residential building character where applicable.
54. Highly detailed paving materials should be used in commercial areas for aesthetic purposes and to differentiate such areas as storefronts and seating areas.

Mixed Use Buildings:

In addition to guidelines 1 to 54, these guidelines apply to mixed use buildings.

55. Pedestrian street access to any ground floor residential unit should be provided in order to reinforce pedestrian activity and street life.
56. Any ground floor residential unit should have a minimum front yard setback of 3.5 metres and a maximum front yard setback of six (6) metres to create a semi-private entry or transition zone to individual units and to allow for an elevated entryway and/or front porch.
57. Direct access to a usable private outdoor space should be provided for each dwelling unit such as a yard, patio, balcony, or roof top terrace. Balconies should be covered to ensure comfort and usability. Roof top patios and common spaces are encouraged, particularly where at-grade outdoor space is limited.
58. Balconies should be designed as integral parts of buildings. Use glazed or narrow metal spindle guardrails to maximize daylight penetration into dwellings.
59. Upper storey windows and balconies should be oriented to overlook adjoining public streets, squares, greenways, and other public open spaces.
60. Resident parking should be provided underground or within the building structure. Minimize any above-grade projection of parking structures and associated mechanical equipment, particularly as viewed from the public realm.



Upper storey windows and balconies overlook the street

61. Commercial and residential parking should be clearly separated and/or identified through labelling and signage.
62. Where possible, at-grade drop-off and loading areas should be provided near a residential building entrance.
63. Refuse, recycling, and organics waste areas shall be incorporated into the design of the underground or structured parking area. Parking areas shall have adequate on-site space for the movement of trucks and waste removal vehicles.

10.3 ADDITIONAL GUIDELINES FOR DEVELOPMENT PERMIT AREA A – RESIDENTIAL AND DEVELOPMENT PERMIT AREA B – COMMERCIAL AND MIXED USE

The following guidelines apply to all development within Development Permit Area A – Residential and Development Permit Area B – Commercial and Mixed Use on Map 11.

Site Design:

1. Buildings shall be sited to respond to specific site conditions and opportunities such as irregular shaped lots, location on prominent intersections, sites framing important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.
2. Larger development sites should be permeated with public roads and/or pedestrian and bicycle pathways. Where there is an opportunity to provide mid-block connections to public streets or trails through development sites, pedestrian and bicycle pathways shall be publicly accessible.
3. New developments shall be sited to maximize the privacy of adjacent private outdoor spaces.
4. New developments should ensure that the siting and form of buildings do not block significant views and solar access from existing or anticipated developments and that shadowing impacts on adjacent residential buildings, roads, and usable open spaces are minimized.
5. An adaptive design on sloping sites should be incorporated to create a terraced form of development and provide view opportunities for a majority of housing units. The use of retaining walls should be limited.
6. Impervious areas should be limited from new developments through building form, site layout, and surface treatments.



A larger site is permeated with a pathway

Building Design:

7. Developments should be designed to provide both cohesion and variety. Cohesion may be achieved by designing all buildings within a development to the same architectural style and creating a unified streetscape through a similar alignment of windows, roof lines, and floor-to-floor spacing along the street block. Variety may be achieved through massing, roof forms, material and colour, and architectural detailing.
8. Architectural elements and detailing should be incorporated into building façades, and they should be rich and varied in detail to create visual interest. Consider the following examples:
 - a. building height and massing
 - b. bay windows and balconies
 - c. decorative roof lines and cornices
 - d. building entries
 - e. canopies and overhangs
 - f. columns and pilasters
 - g. chimney stacks
 - h. integrated architectural lighting and signage
 - i. detailed grills and railings
 - j. substantial trim details and moldings
 - k. trellises and arbours
9. The pedestrian scale should be reinforced by designing all buildings to have a heavier base and lighter top that are visibly differentiated by use of material (e.g. masonry on the base and wood siding on the top) and details (e.g. cornice treatments at the top). Use horizontal architectural elements to define floor-to-floor transitions, roofs, and cornice lines.
10. Building massing shall contribute to a pedestrian scaled environment. Consider the following:
 - a. break the mass of large buildings into smaller modules of similar scale through substantial vertical features (e.g. changes in building height, projections, and recesses) and upper storey step-backs
 - b. relate the modules to the organization of interior space such that the expression of individual units is reflected in the overall form of the building
 - c. design the roof to minimize the overall building mass, incorporating variations in roof planes and forms to break up roof mass and reduce building scale
11. Building height and massing should be scaled in proportion to open spaces.



Massing contributes to the pedestrian experience through vertical setbacks, upper storey step-backs, and varying roof planes

12. The roof line of the building's façade should be clearly distinguished from its walls (e.g. through the use of a cornice, projecting overhang, or decorative motif). Roof forms should incorporate elements which create visual interest, such as cornices, overhangs, gables, and dormers. Long expanses of uninterrupted single-height flat roofs should be avoided.
13. An integrated, consistent range of materials and colours should be used, and variety between buildings and building frontages should be provided. Materials and colours should not dramatically change at the corners of buildings unless the corner is on an internal property line.
14. Natural materials such as masonry, stone and wood are generally encouraged and synthetic materials such as vinyl are discouraged. Wood-like hardboard products are acceptable but not preferred. The following materials are most preferred:
 - a. horizontal wood board siding
 - b. wood shingles
 - c. timber accents
 - d. brick
 - e. natural and manufactured stone
 - f. metal (formed into decorative elements such as flashings, cornice and brackets)
15. Green roofs and green walls are encouraged.
16. Lower albedo (light coloured) roofing should be used to the greatest extent possible.
17. Open areas of flat roofs shall be finished with patterned, textured and/or coloured materials to enhance views from above. Flat roofs are encouraged to include common areas, rooftop gardens, and/or green roofs.
18. All exposed base supports for structures that include signage, amenity features, building appurtenances, and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.
19. Adequate and secured short term bicycle parking shall be provided in well-lit locations and clearly visible from a main building entrance and/or public roads with bicycle racks made of sturdy, theft resistant material that is securely anchored to the floor or ground.

Accessibility and Safety:

20. Universal access shall be provided throughout the development, where possible. Ensure all pedestrian routes including those leading to building entrances are safe and easy to use by a wide range of persons with disabilities. Routes should be direct, level, obstacle free, easily identifiable, and clearly separated from vehicular routes.

Mechanical Equipment and Servicing Areas:

21. Utility boxes, meters, and other mechanical equipment should be placed away from public view and architecturally integrated into the developments and/or screened with an enclosure and/or landscaping.
22. Security fencing for storage areas, where required, shall be black coated vinyl chain link fencing screened with hedging material.

23. Rooftop mechanical equipment shall be screened or integrated with the roof form (as viewed from the public street, walkways, trails, parks, and higher buildings) in a manner consistent with the overall architecture of the building.

Landscaping:

24. Every effort shall be made to incorporate significant tree stands and tree corridors into the development. Where trees are located along shared property lines with the Township, they will be assessed for incorporation into the street, greenway, trail, or park design (as applicable).
25. Landscape plans shall be prepared by a registered member of the British Columbia Society of Landscape Architects.
26. Landscape planting should use minimum 50% native plantings with appropriate character, mixed with other non-invasive plants.
27. All landscape elements (e.g. outdoor furniture, waste receptacles, walkways, patios, retaining walls, and fences) shall be consistent with the design of the overall development.
28. Site furniture should be durable and have a low life-cycle cost, be selected to discourage vandalism and use for skateboard activity, and be designed to meet the needs of a wide range of users including children, seniors, and those with disabilities.
29. Where developments abut Township property (e.g. an environmental area, off-street trail, or park) a black coated vinyl chain link fence shall be constructed and include a hedge behind it, consistent with the standards in Subdivision and Development Servicing Bylaw 2011 No. 4861, as amended. The required vinyl chain link fence shall not exceed 1.8 metres in height.
30. The following surface treatments are encouraged as features of on-site hard surfaces and/or walkway design and as a substitute for conventional pavement in low-traffic areas and where the land use has low-risk of groundwater contamination:
- porous pavement within private properties (porous pavements may be applied to lanes or access roads, driveways, and low-traffic parking areas)
 - concrete grid/modular pavers may be applied to private lanes or access roads, driveways, low-traffic parking areas, footpaths, and bike paths
 - Grass Pave/Grasscrete/Golpha plastic reinforcement products may be used in conjunction with gravel or grass surfaces
31. Curb cuts and other measures should be used to divert runoff from hard surfaces into swales or rainwater gardens which contribute to bio-filtration and evapotranspiration.
32. Surface parking shall integrate landscaping and other design elements to reduce the perceived size of parking areas.
33. Roof top patios shall be landscaped and provided with service amenities (e.g. hose bibs and electrical receptacles).



Alternative surface treatments

10.4 DEVELOPMENT PERMIT AREA C – PROTECTION OF FARMING

Lands within 300 metres of the Agricultural Land Reserve (ALR) boundary (as shown on Map 11) are designated as a Development Permit Area (DPA) under section 488.1(c) of the *Local Government Act (LGA)* to establish objectives and guidelines for the protection of farming. The construction of, addition to, or alteration of a commercial or institutional building or structure must not be started and land within the area must not be subdivided unless the owner first obtains a development permit or is exempted under Section 10.4.2.

10.4.1 JUSTIFICATION AND INTENT

The establishment of Development Permit Area C ensures that new developments in Brookwood-Fernridge protect farming by mitigating potential conflicts between urban and agriculture uses.

The intent of Development Permit Area C is as follows:

- Establish a clear boundary between the urban and rural area.
- Protect the viability of farming on adjacent agricultural lands.
- Minimize the impacts of farming on urban lands.



Continuous vegetative buffer along the boundary of the Agricultural Land Reserve

10.4.2 EXEMPTIONS

The following activities do not require a development permit in Development Permit Area C:

- the construction of, addition to, or alteration of a residential, agricultural or accessory building or structure
- the construction of, addition to, or alteration of a commercial or institutional building or structure on a lot that is not located immediately adjacent to the ALR boundary or a road that abuts the ALR boundary, provided a restrictive covenant is registered on property title that states that nearby lands are located in the ALR, which may expose the urban lands to nuisances associated with normal farm practices

- the subdivision of a lot that is not located immediately adjacent to the ALR boundary or a road that abuts the ALR boundary, provided a restrictive covenant is registered on property title that states that nearby lands are located in the ALR, which may expose the urban lands to nuisances associated with normal farm practices

10.4.3 GUIDELINES

The following guidelines apply to all development within Development Permit Area C:

1. Subdivision design shall minimize potential negative impacts that may occur between farm and non-farm land uses.
2. Avoid road endings or stubs and half-roads along the ALR boundary, where possible.
3. Best management practices (BMPs) shall be employed to treat stormwater runoff, attenuate peak flows, and maintain pre-development infiltration rates.
4. A restrictive covenant shall be registered on property title that states that nearby lands are located in the ALR, which may expose the urban lands to nuisances associated with normal farm practices.
5. Building setbacks and buffers shall be established in accordance with the BC Ministry of Agriculture *Guide to Edge Planning: Promoting Compatibility Along Agricultural – Urban Edges*, as updated from time to time. The buffer shall be installed prior to commencing building construction.
6. A restrictive covenant shall be registered on property title that specifies the required building setback for principal buildings and prohibits the removal of vegetation and the construction of accessory buildings or structures in the buffer area.
7. Where trails and/or passive recreational uses are part of the landscaped buffer, the recreational features will not take up more than a third (1/3) of the width of the buffer and they will be located away from the ALR boundary.

10.5 DEVELOPMENT PERMIT AREA D – ENERGY AND WATER CONSERVATION AND REDUCTION OF GREENHOUSE GAS EMISSIONS

Lands identified as Development Permit Area D – Energy and Water Conservation and Reduction of Greenhouse Gas Emissions on Map 11 are designated as a Development Permit Area (DPA) under section 488.1(h), (i) and (j) of the *Local Government Act (LGA)*. The construction of, addition to, or alteration of a building or structure must not be started and land within the area must not be subdivided unless the owner first obtains a development permit or is exempted under Section 10.5.2.

10.5.1 JUSTIFICATION AND INTENT

The establishment of Development Permit Area D ensures that new developments in Brookwood-Fernridge protect the environment through energy and water conservation and greenhouse gas emissions reduction.

The intent of Development Permit Area D is as follows:

- Support the development of an energy efficient community.

- Create a positive impact on the natural environment through the protection of air quality and water resources, including the Brookswood Aquifer.
- Reduce the costs associated with the ongoing operation of buildings.
- Promote building occupant comfort and health.
- Support innovation in building design, including the use of passive and local renewable energy.

The DPA guidelines (Section 10.5.3) offer flexibility in achieving the overall intent of the DPA.

To verify that energy conservation and greenhouse gas emissions reduction targets are indeed achieved, the BC Energy Step Code establishes progressive performance target levels for construction of new buildings. These building code provisions create a consistent way of measuring and understanding energy use in all buildings, regardless of their level of performance.

In conjunction with the BC Energy Step Code's intent to transition industry to net zero energy ready buildings by 2032, performance levels are intended to incrementally increase industry wide with time. This methodology will allow industry capacity building to take place to ensure performance levels are reasonably achievable by industry, rather than introducing a significant one time shift in performance requirements that could result in unintended consequences.

Construction taking place on lands located within DPA D, unless otherwise exempted under Section 10.5.2., is intended to achieve the BC Energy Step Code performance target levels as referenced in Langley Building Bylaw 2008 No. 4642, as amended. As the minimum baseline BC Building Code energy efficiency performance levels are expected to change over time, it is anticipated that the BC Energy Step Code performance levels will also adjust accordingly to coincide.

With regards to water conservation, institutional, multi-family, commercial and mixed use developments shall demonstrate compliance with the DPA guidelines on a landscape plan prepared by a registered member of the British Columbia Society of Landscape Architects. For all other developments, including single family dwellings, the applicable DPA guidelines shall be incorporated as conditions of the development permit and/or provisions of an exterior design control agreement along with a list of preferred plant species (e.g. drought tolerant and native).

10.5.2 EXEMPTIONS

The following activities do not require a development permit in Development Permit Area D:

- additions to or alterations of existing single family dwellings or manufactured homes where the construction value of the work does not exceed 50% of the value of the building
- construction of, addition to, or alteration of an agricultural or accessory building or structure
- additions to or alterations of existing multi-family, commercial or institutional buildings, provided any building addition is less than 50 m² in floor area
- land alterations and site improvements such as landscaping, paving, and access paths, provided the improvements are compatible with the Development Permit Area Guidelines

10.5.3 GUIDELINES

The following guidelines apply to all development within Development Permit Area D:

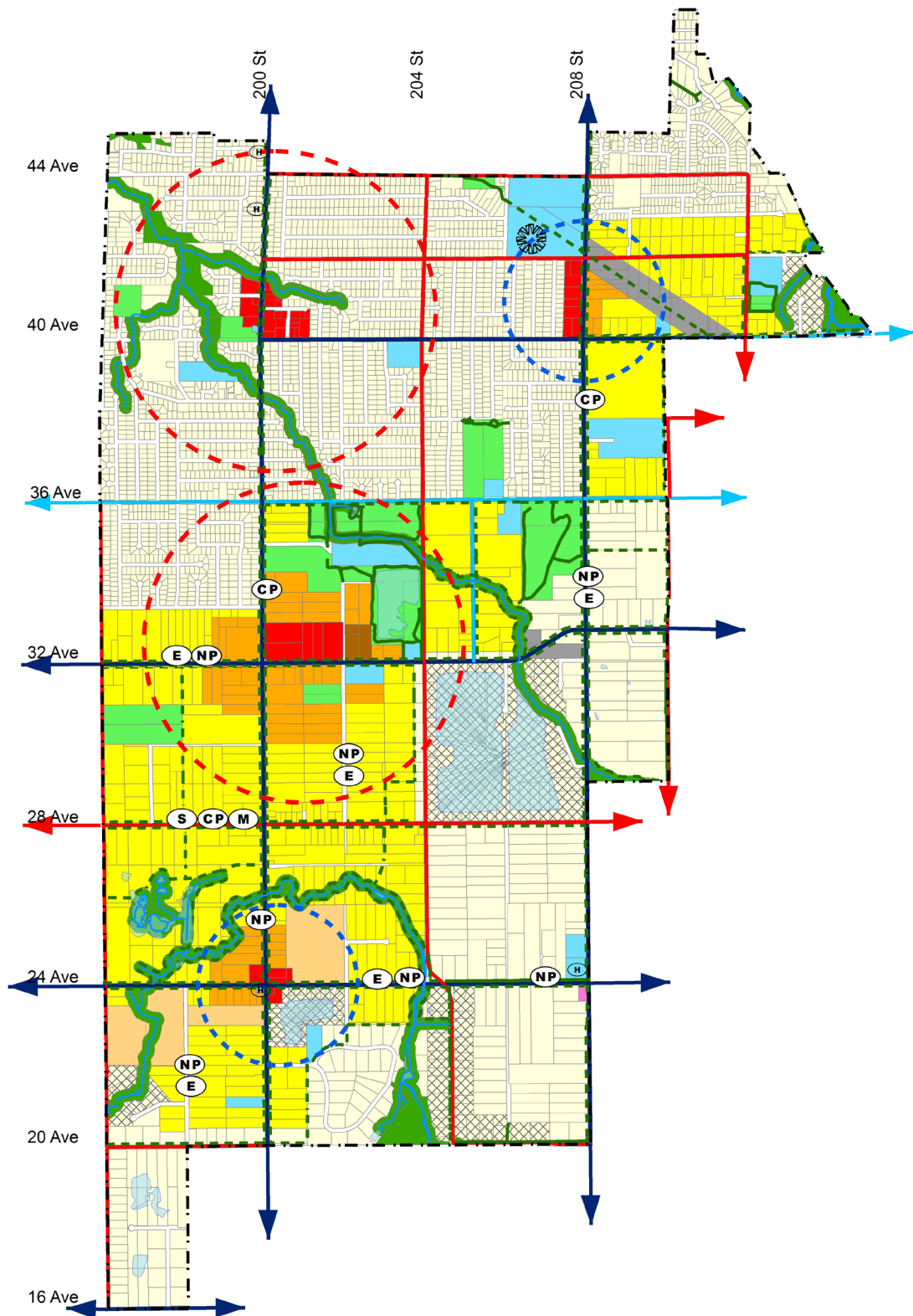
1. Use drought tolerant and native plant species to minimize the need for landscape irrigation.
2. Reduce lawn areas in favour of planted areas, particularly for commercial developments.
3. Design and install high-efficiency irrigation systems, particularly for multi-family and commercial developments.
4. Include dedicated electrical equipment for electric vehicle charging in exterior parking areas.
5. Optimize building form and thermal performance of building envelopes to minimize heating, cooling and lighting requirements. Consider the following design strategies:
 - a. Lots should be subdivided and oriented to take advantage of opportunities for improving passive solar heating, reducing heat loss and supporting natural ventilation. Orient subdivisions on an east-west road grid and ensure a south facing roof aspect.
 - b. While acknowledging that buildings should be oriented to the street, whenever possible, design, orient and site buildings to optimize passive solar energy potential by orienting buildings towards the south ($\pm 30^\circ$ east or west) and using optimally sized south-facing windows.
 - c. Ensure that the siting, form and scale of buildings do not block solar access from existing or anticipated development and that shadowing impacts on adjacent buildings are minimized. Sun shade diagrams should be provided to demonstrate that overshadowing is minimized.
 - d. Reduce reliance on artificial light by maximizing daylight penetration into buildings. Consider the use of clerestories, light shelves and solar tubes to maximize daylighting while minimizing heat gain in summer and heat loss in winter.
 - e. To maximize low-angle solar gain in winter months and minimize high-angle heat gain in summer months, design for flexible sunscreens, louvres or overhangs for windows on south and west facing elevations. A properly sized overhang can shade a south window for most of a summer day, without blocking out the low angled winter sun.
 - f. Place deciduous trees on the south and west sides of a structure to offer shade in summer, and allow access to solar heat in winter.
 - g. For all outdoor lighting, use efficient lighting design such as LEDs and motion or photo-sensitive lighting while still supporting safe pedestrian mobility.
 - h. Apply thermal mass such as exposed concrete floors or concrete block partition walls to the ground floor of the south side of buildings to absorb solar heat in winter and radiate it back at night.
 - i. Green roofs and/or walls are encouraged where they can be shown to reduce heating and cooling needs, enhance biodiversity, reduce fire hazards, mitigate stormwater runoff, or realize other benefits. Where green roofs are impractical, roof reflectance should be maximized by selecting lighter colour cladding materials to reduce heat island effects and increase occupant comfort.
 - j. Acquire at least 10% of the building's total energy demand through the use of on-site renewable energy with an emphasis on heating/cooling systems such as geo-exchange, air-source heat pumps, heat recovery from wastewater, biomass and solar thermal.

- k. Solar thermal or solar electric technologies should be incorporated, but, where they are not incorporated during initial construction, all buildings should be designed to be “solar ready” as defined by Natural Resources Canada’s *Solar Ready Guidelines* (note that all new single family homes are required to be “solar ready” in accordance with the Township’s *Solar Hot Water Ready Regulation*).

The following measures do not form part of the development permit area guidelines, but are provided as suggestions that could be incorporated in designs to conserve energy and water and reduce GHG emissions in new development.

- Incorporate high thermal performance windows, doors, and skylights and other insulation methods.
- Provide operable windows on all building elevations to increase opportunities for natural ventilation, reducing reliance on mechanical HVAC systems.
- The envelope or shell of the building is where heat loss occurs. When considering interior layout, use compact design principles. A shape as close to a square as possible is optimum to minimize corners and maximize floor area in relation to outside wall area.
- Balance narrow floor plans and greater floor-to-ceiling heights with the envelope to floor area ratio in such a way that optimizes daylight penetration/distribution and passive ventilation while not negatively affecting thermal efficiency.
- When considering room placement, situate the kitchen on a northern or eastern elevation to avoid over-heating the house in warm summer months. Locate evening-use rooms on western elevations to benefit from evening sun and frequent-use rooms such as offices and living rooms on southern elevations to benefit from daylighting and solar heat gain.
- Use energy efficient fixtures and smart automation technologies such as timers, occupancy sensors, programmable thermostats and daylight-responsive controls in all regularly occupied spaces where possible to maximize energy efficiency.
- Employ water efficiency strategies such as water-conserving plumbing fixtures, appliances and control technologies.
- Reuse existing building materials where practical, but when not practical, recycle to the fullest extent possible. Demolition and construction waste diversion planning should form part of the development process, including the identification of all materials to be diverted from the landfill.
- Include dedicated electrical equipment required for electric vehicle charging for interior parking spaces. When not possible, building design should incorporate “EV ready” practices for simple future installation of EV charging equipment. Examples include an electrical room designed with sufficient panel space for the future installation of electrical equipment necessary to support electric vehicle charging; electrical raceway from the electrical room to parking spots; and physical space for EV charging equipment.

Map 1 - Integrated Community Concept

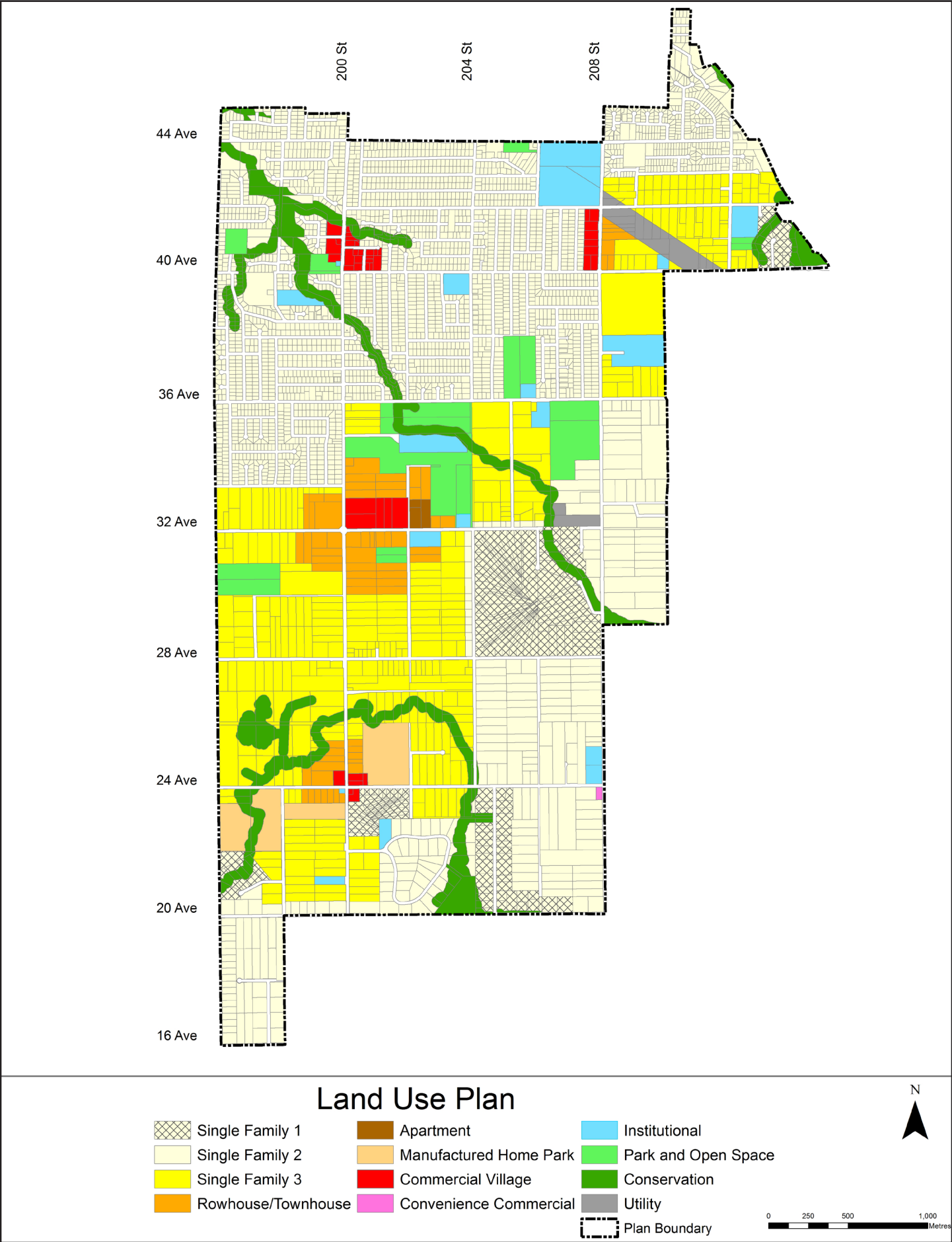


Integrated Community Concept

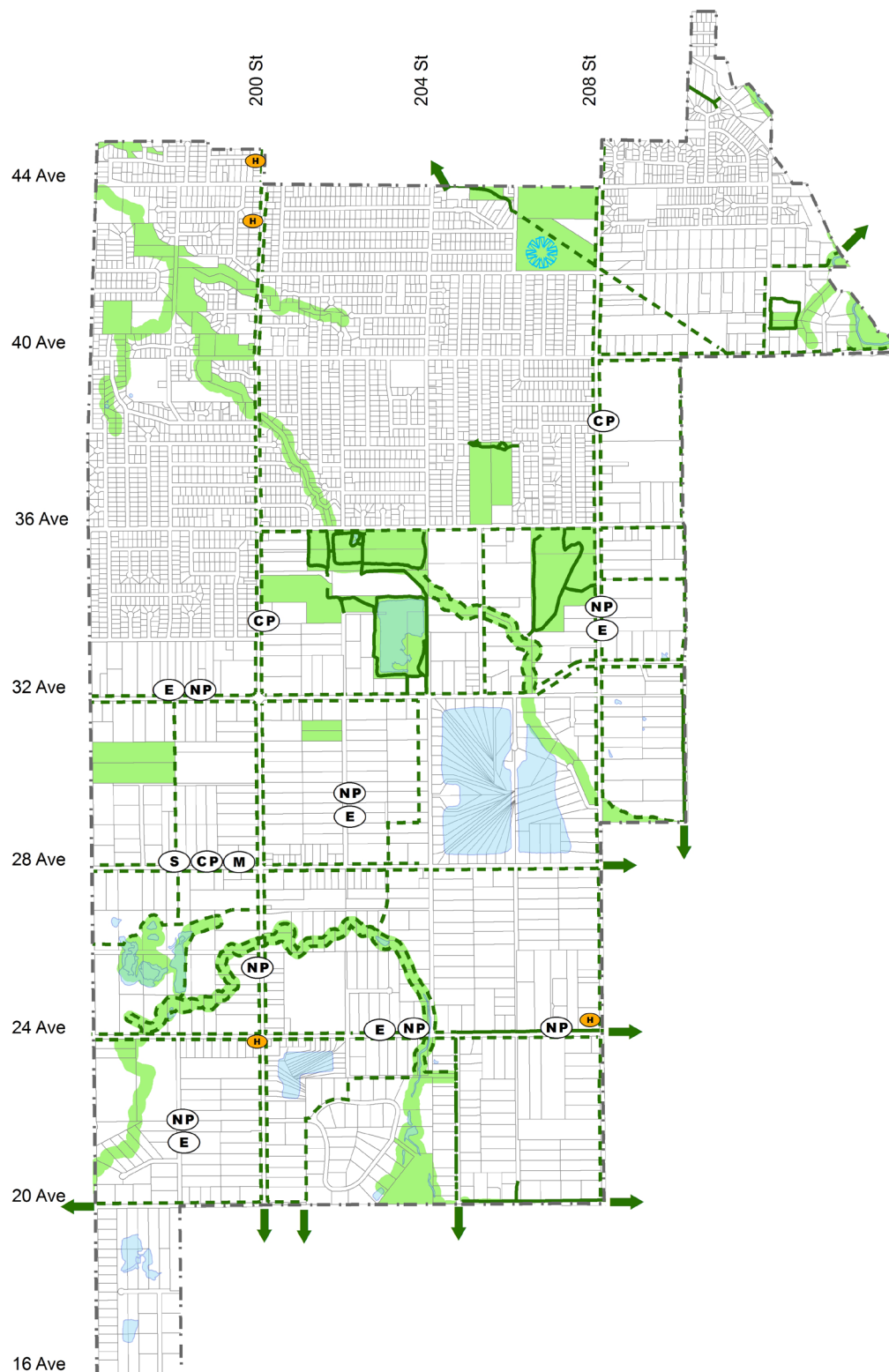
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|------------------------|------------------------|-----------------------------|-------------------------|------------------|----------------------|
| Single Family 1 | Commercial Village | Proposed Elementary School | Proposed Community Park | 2 Lane Collector | Neighbourhood Centre |
| Single Family 2 | Convenience Commercial | Proposed Secondary School | Recreation Centre | 2 Lane Arterial | Community Centre |
| Single Family 3 | Institutional | Proposed Middle School | Historical Significance | 4 Lane Arterial | Lakes and Ponds |
| Rowhouse/Townhouse | Park and Open Space | Proposed Neighbourhood Park | Existing Trail/Greenway | Watercourses | Plan Boundary |
| Apartment | Conservation | | Proposed Trail/Greenway | | |
| Manufactured Home Park | Utility | | | | |

0 250 500 1,000 Metres

Map 2 - Land Use Plan



Map 3 - Open Space and Community Facilities

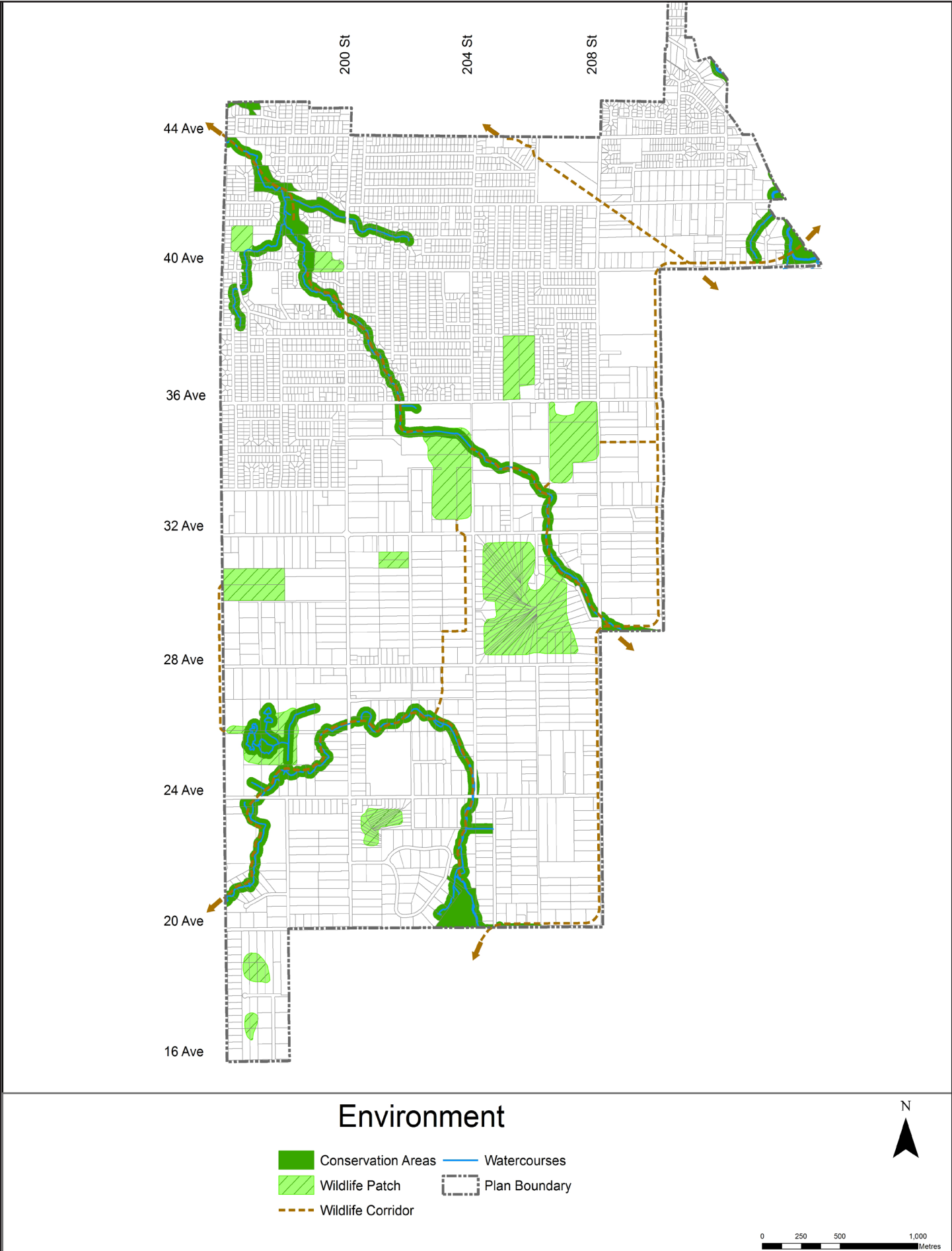


Open Space and Community Facilities

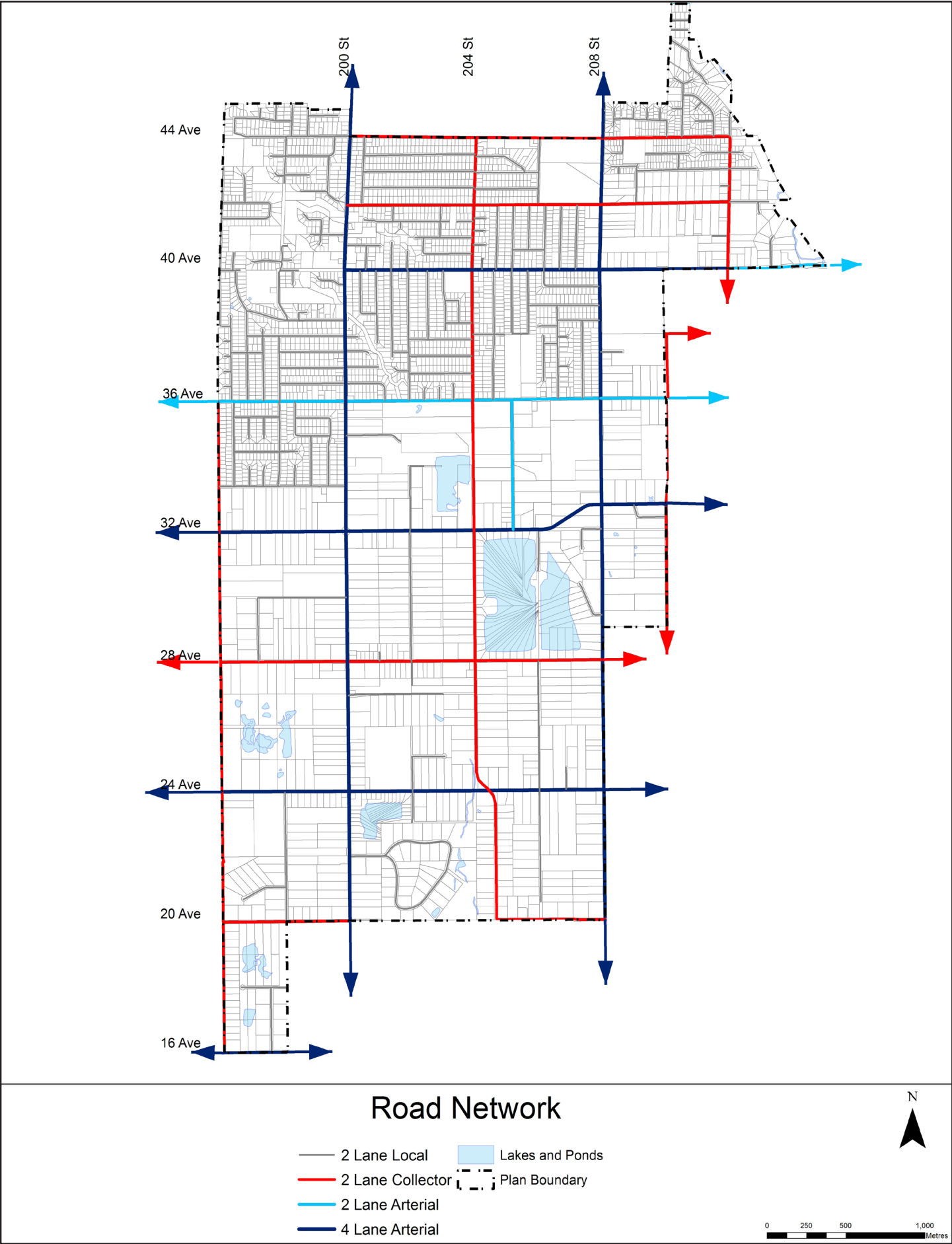
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|----------------------------------|------------------------------|-------------------------------------|
| (E) Proposed Elementary School | (CP) Proposed Community Park | — Existing Trail/Greenway |
| (S) Proposed Secondary School | Recreation Centre | - - - Proposed Trail/Greenway |
| (M) Proposed Middle School | Historical Significance | — Lakes and Ponds |
| (NP) Proposed Neighbourhood Park | Plan Boundary | — Conservation, Park and Open Space |
| | | — Existing School |

0 250 500 1,000 Metres

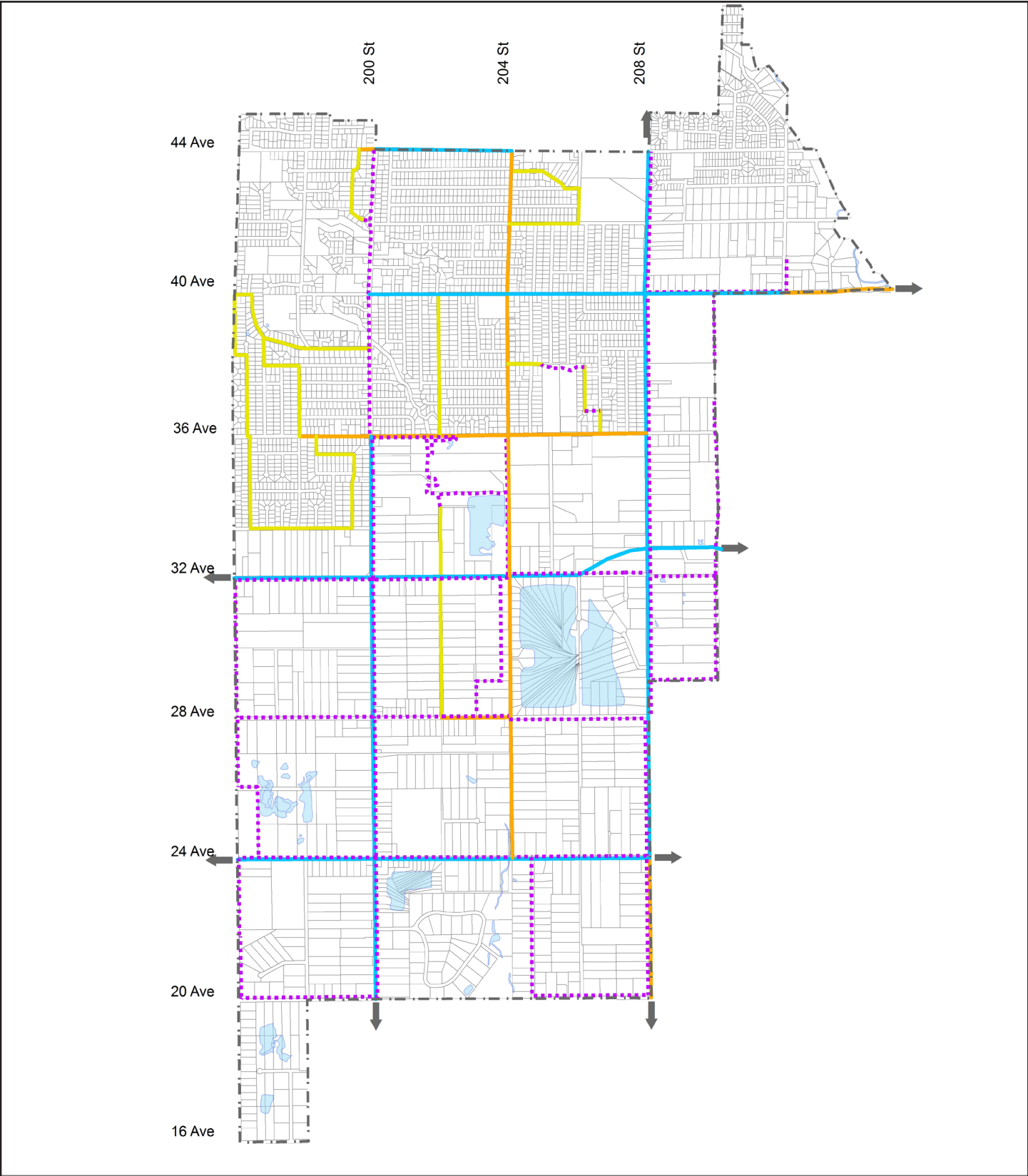
Map 4 - Environment



Map 5 - Road Network

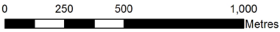


Map 6 - Cycling Network

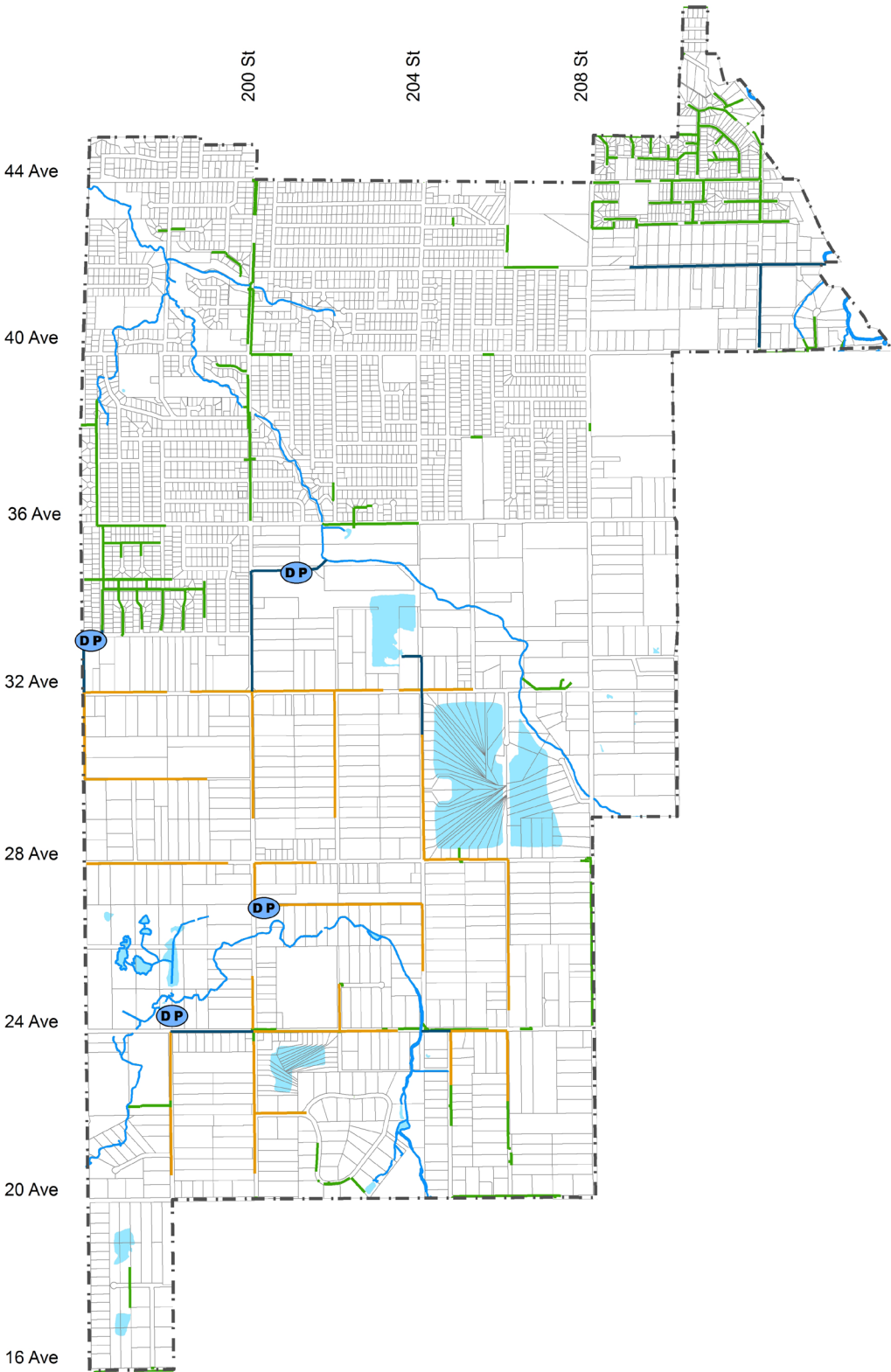


Cycling Network

- Bike Lane
- Paved Shoulder
- Shared Road
- Off Street Trail
- Lakes and Ponds
- Plan Boundary

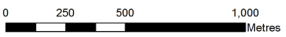


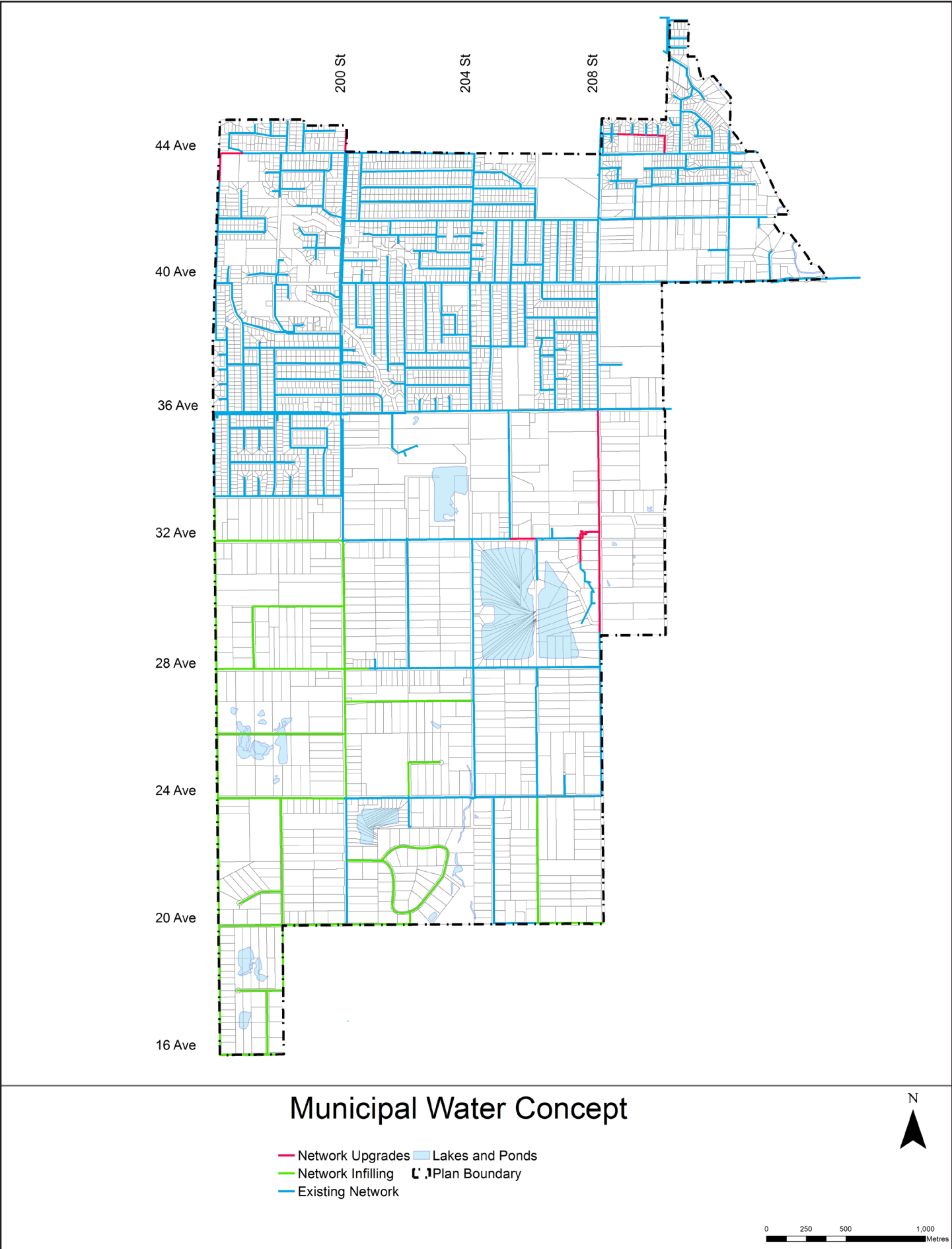
Map 7 - Stormwater Management Concept

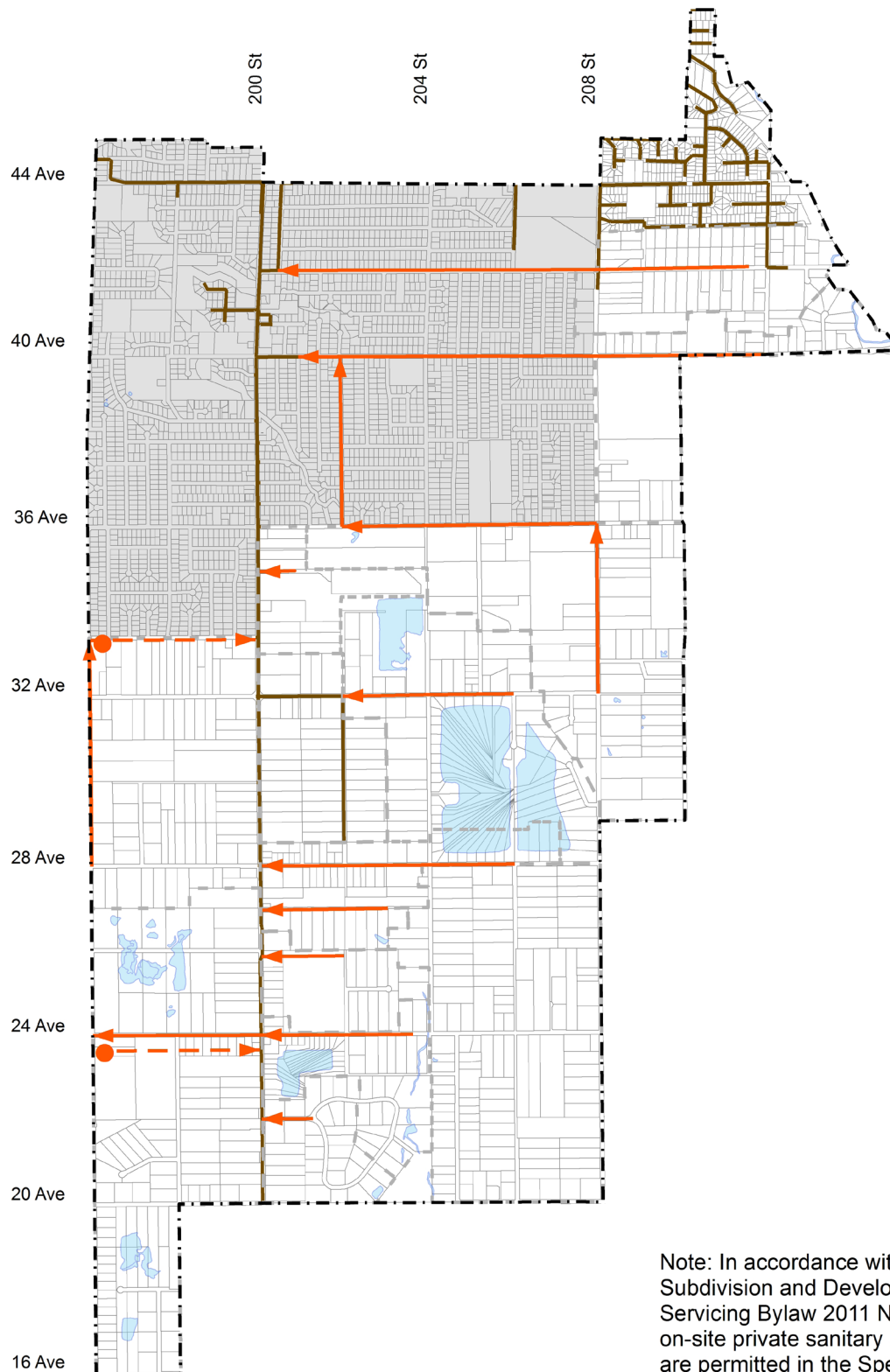


Stormwater Management Concept

- Proposed Storm Sewer
- Proposed Perforated Storm Sewer
- Existing Storm Main
- Watercourses
- Proposed Detention Pond
- Lakes and Ponds
- Plan Boundary







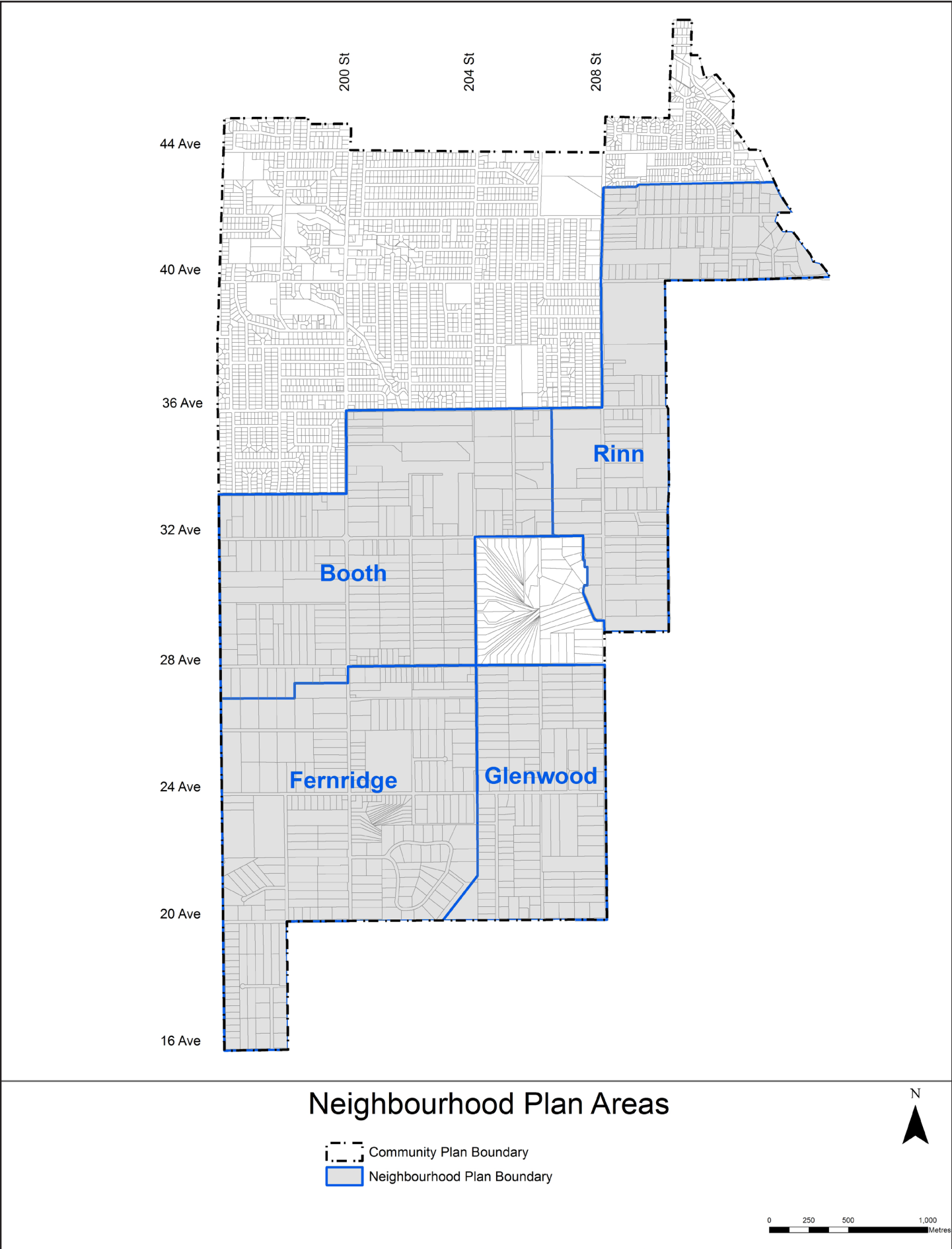
Sanitary Concept

- | | | |
|------------------------------|-----------------------|--------------------|
| Existing Sanitary Sewer | Sanitary Catchment | Lakes and Ponds |
| Proposed Sanitary Trunk | Proposed Pump Station | Special Urban Area |
| Proposed Sanitary Force Main | Plan Boundary | |

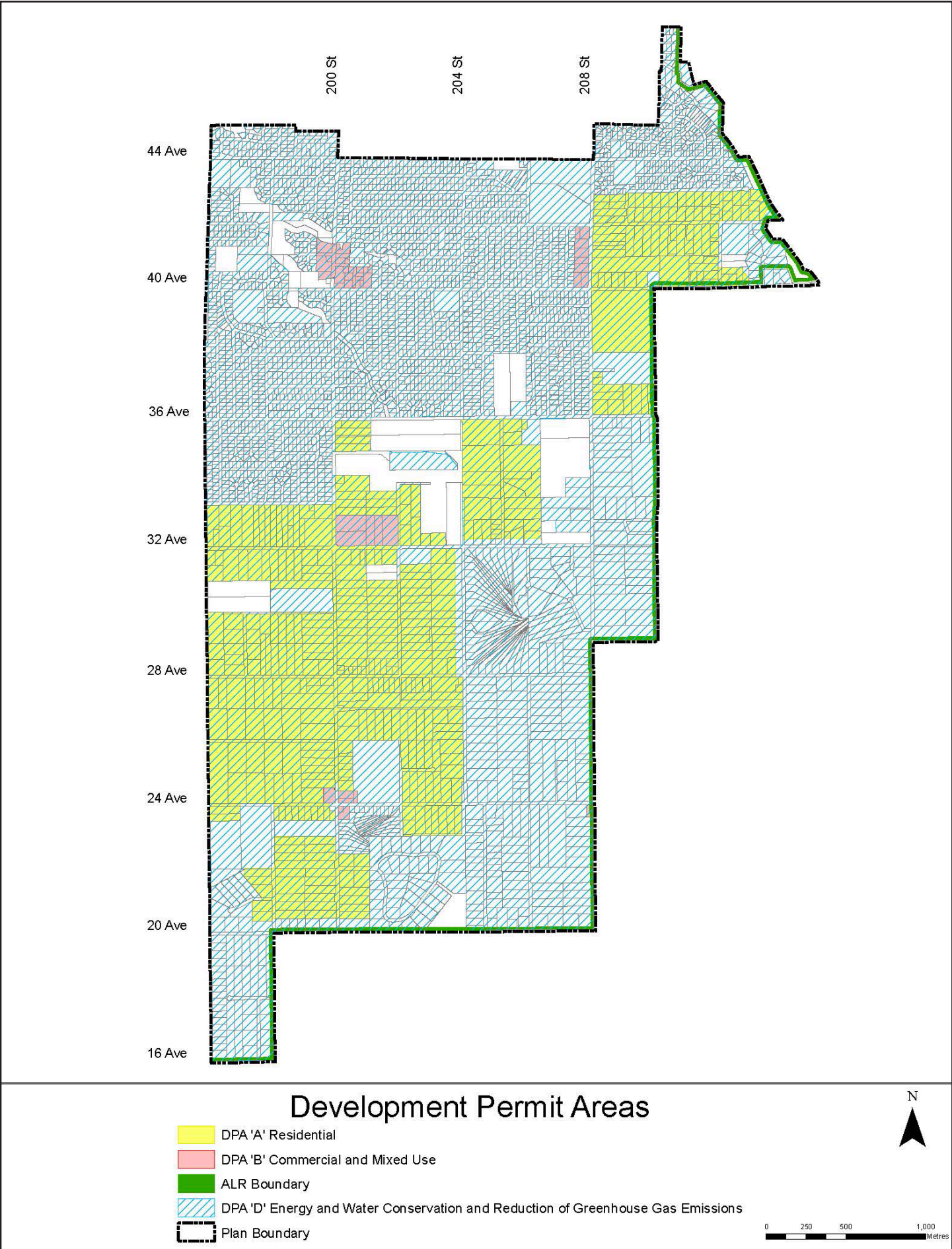


0 250 500 1,000
Metres

Map 10 - Neighbourhood Plan Areas



Map 11 - Development Permit Areas





Township of
Langley



Est. 1873

Township of Langley
20338 - 65 Avenue
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